



Newnan City Council Meeting

AUGUST 27, 2019

Newnan City Hall
Richard A. Bolin Council Chambers
25 LaGrange Street
6:30 pm

CALL TO ORDER – Mayor Keith Brady

INVOCATION

READING OF MINUTES

- I Minutes from Regular Meeting on August 13, 2019 Tab A

REPORTS OF BOARDS AND COMMISSION

- I 2 Appointments – Cultural Arts Commission – 3 Year Terms
- II 2 Appointments – Keep Newnan Beautiful – 3 Year Term
- III Resignation – Newnan Cultural Arts Commission – Kim Wright..... Tab B
- IV Resignation – Newnan Cultural Arts Commission – Dave Dorrell Tab C
- V Christmas Commission – Suggestions for the upcoming holiday season Tab D
- VI Annual Report – Newnan Cultural Arts Commission

REPORTS ON OPERATIONS BY CITY MANAGER

REPORTS AND COMMUNICATIONS FROM MAYOR

- I Swearing in Newnan Youth Council Students

NEW BUSINESS

- I Request from Newnan Utilities to harvest timber on approximately 300 acres of forest land held by the City of Newnan..... Tab E
- II Consider Requests for Proposals (RFP) for Engineering/Architectural Services related to the City's 2020 Community Development Block Grant Application..... Tab F

UNFINISHED BUSINESS

- I **Continue Public Hearing** – The Residential Group – Rezone 5.603+ Acres located on E. Broad Street (Caldwell Tanks property) from Central Business District (CBD) to Mixed Use Development District (MXD)..... Tab G
 - Ordinance
- II **Public Hearing** – 6 Glenn Street – Resolution to Repair or Demolish Tab H
- II **Public Hearing** – 8 Glenn Street – Continue to 9/24/2019 due to recent change in ownership..... Tab I
- III **Public Hearing** – 100 Sprayberry Road – Resolution to Repair or Demolish Tab J
- IV 15 Elm Circle – Continue resolution to repair or demolish Tab K
- V 180 West Washington Street – Owner request for extension Tab L

VISITORS, PETITIONS, COMMUNICATIONS & COMPLAINTS

- I Tracy Lewis-Delta Sigma Theta Sorority, Inc – Request to host 5K fundraiser in the City of Newnan on March 28, 2020 for scholarships for students of Troup and Coweta Counties Tab M

- II Summergrove HOA requests to post signs/banners at their entrances at Shenandoah, East Lake on Lower Fayetteville and East Lake on Mary Freeman on September 5th – 7th for Neighborhood Yard Sale and November 9th – 12th for Military Heroes..... Tab N

- III Request from Athletic Director-Newnan High School to hold the NHS Homecoming Parade on Thursday October 10, 2019 beginning at 5:30 pm followed by a Pep RallyTab O

EXECUTIVE SESSION – LEGAL, PERSONNEL AND REAL ESTATE

ADJOURNMENT

The regular meeting of the City Council of the City of Newnan, Georgia was held on Tuesday, August 13, 2019 at 2:30 p.m. in the Richard A. Bolin Council Chambers of City Hall with Mayor Keith Brady presiding.

CALL TO ORDER

Mayor Brady called the meeting to order and delivered the invocation.

PRESENT

Mayor Keith Brady: Council members present: Ray DuBose, Cynthia E. Jenkins; Paul Guillaume; Dustin Koritko; Rhodes Shell and George Alexander. Also present: City Manager, Cleatus Phillips; City Clerk, Della Hill; City Planner, Chris Cole and Dean Smith; Public Works Director, Michael Klahr; Assistant City Manager, Hasco Craver; City Attorney, Brad Sears and Police Chief, Douglas "Buster" Meadows.

MINUTES – REGULAR COUNCIL MEETING – JULY 16, 2019

Motion by Councilman DuBose, seconded by Councilman Alexander to dispense with the reading of the minutes of the Regular Council meeting for July 16, 2019 and adopt them as presented.

MOTION CARRIED. (7 – 0)

MINUTES – SPECIAL CALLED MEETING – JULY 25, 2019

Motion by Councilman Alexander, seconded by Councilman DuBose to dispense with the reading of the minutes of the Special Called meeting for July 25, 2019 and adopt them as presented.

MOTION CARRIED. (7 – 0)

MINUTES – SPECIAL CALLED MEETING – AUGUST 6, 2019

Motion by Councilman Shell, seconded by Councilman Alexander to dispense with the reading of the minutes of the Special Called meeting for August 6, 2019 and adopt them as presented.

MOTION CARRIED. (7 – 0)

APPOINTMENTS - CULTURAL ARTS COMMISSION

Motion by Mayor Brady, seconded by Councilman Alexander to re-appoint Craig Ruby to the Cultural Arts Commission for another three year term.

MOTION CARRIED. (7 – 0)

Motion by Councilman Shell, seconded by Councilman Alexander to appoint Margaret Millen to the Cultural Arts Commission for a three year term.

MOTION CARRIED. (7 – 0)

Mayor Brady asked the City Manager to place Mayor Pro Tem Jenkins and Councilman DuBose appointments on the agenda for the next meeting.

APPOINTMENT – KEEP NEWNAN BEAUTIFUL

Mayor Brady asked the City Manager to place Councilman DuBose appointment on the agenda for the next meeting to the Keep Newnan Beautiful Commission.

APPOINTMENTS – BOARD OF ZONING APPEALS

Motion by Mayor Brady, seconded by Councilman Koritko to re-appoint Clif Smith for another three year term on the Board of Zoning Appeals.

MOTION CARRIED. (7 – 0)

Motion by Councilman Koritko, seconded by Councilman Alexander to re-appoint Frank Flournoy for another three year term on the Board of Zoning Appeals.

MOTION CARRIED. (7 – 0)

APPOINTMENTS – DOWNTOWN DEVELOPMENT AUTHORITY

Motion by Mayor Brady, seconded by Councilman DuBose to re-appoint Jim Thomasson for another three year term on the Downtown Development Authority.

MOTION CARRIED. (7 – 0)

Motion by Mayor Pro Tem Jenkins, seconded by Councilman DuBose to re-appoint Graylin Ward for another three year term on the Downtown Development Authority.

MOTION CARRIED. (7 – 0)

ANNUAL REPORT – NEWNAN CONVENTION CENTER AUTHORITY

Ms. Carol Moore, Director, presented a report from the Newnan Convention Center Authority. She stated on January 1, 2019 alcohol is now served in house. A part time beverage manager has been hired. We have an outdoor wedding project in place which will be used for multipurpose venue also for small concerts. The patio area will be

enlarged in order to accommodate a reception of 200. Completion date is set for September. We are already booking this venue. Handicap parking will be added in the area of the loading docks with walkway to venue. We are facing challenges with parking, breakout rooms and long term plans for Hotel.

2018 CAFR – PRESENTED BY AUDITORS – CLIFTON, LIPFORD, HARDISON AND PARKER

Mr. Ken Neil, Audit Manager, indicated they performed an independent audit of the City's finance transactions and data for calendar year 2018. During the course of the audit they gathered evidence to express an opinion. They were able to issue an unmodified opinion which is the highest level you can reach. He thanked Staff and management for all the help provided during the audit. The audit has been submitted to the State.

ORDINANCE – SET MILLAGE RATE FOR 2019 PROPERTY TAXES

Motion by Mayor Pro Tem Jenkins , seconded by Councilman Alexander to adopt an ordinance to set millage rate for 2019 Property Taxes for 3.989 mills which is the rollback rate calculated by Coweta County Tax Commissioner.

MOTION CARRIED. (7 – 0)

AGREEMENT – LIFEWORKS BY MORNEAU SHEPELL – PROVIDE EMPLOYEE ASSISTANCE PROGRAM TO CITY EMPLOYEES

Motion by Councilman Shell, seconded by Councilman Guillaume to adopt the agreement with LifeWorks by Morneau Shepell to provide an Employee Assistance Program to City employees.

MOTION CARRIED. (7 – 0)

PRESENTATION – NEWNAN COWETA HISTORICAL SOCIETY - REGARDING OPERATIONS OF THE HOLLIS-MCRITCHIE MUSEUM

Mr. Gary Welden, President, introduced the Director, Emily Kimbell who presented an overview of the operations of the Newnan Coweta Historical Society/Hollis McRitchie Museum. She stated their Mission Statement is to preserve Coweta County history for the education and enlightenment of current and future generations through exhibits, programs and research facilities. This Museum will be a museum of excellence that honors the Hollis family, provides an interesting and worthwhile experience for visitors and serves as a major attraction for visitors. The Museum will actively engage in promoting and showcasing this history by collaborating with other local organizations and providing educational and cultural programs for the public. Long and Short Term goals are in place. Increase revenue streams. In June there were 129 victories. We have a lot of things planned for the future.

EXTENDING CONTRACT AWARD – CONCRETE LIFTING SERVICES AS RESOURCE FOR ADDRESSING SPECIFIC SIDEWALK REPAIR

Motion by Councilman Koritko, seconded by Councilman Guillaume to extend a contract award for concrete lifting services as resource for addressing specific sidewalk repair to AquaGuard Foundation Solutions at current unit prices of \$8.00/ft of area; \$6.00/lb of material.

MOTION CARRIED. (7 – 0)

STORMWATER FACILITY MAINTENANCE AGREEMENT BETWEEN COWETA COUNTY TLC LLC AND THE CITY OF NEWNAN IN MADISON PARK AT NEWNAN LAKES FOR PARTIAL RELEASE

The property owner has sub-divided the original parcel and is requesting to be relieved of the responsibility for stormwater management for any development of the new parcel. A separate stormwater facility maintenance agreement will be required, post-construction, for any development of the new parcel.

Motion by Councilman DuBose, seconded by Councilman Guillaume to approve the partial release for the Stormwater Facility Maintenance Agreement between Coweta County TLC LLC and the City of Newnan in Madison Park at Newnan Lakes.

MOTION CARRIED. (7 – 0)

ENGINEERING SERVICES MASTER AGREEMENT FOR THE LOWER FAYETTEVILLE ROAD OPERATIONS AND SAFETY PROJECT

Under the terms of the Engineering Services Master Agreement the engineering firm will provide engineering design services for this project for duration of three (3) years from the effective date. Services will be provided in separate written Task Orders, approved by Mayor and Council at the recommendation of the Department of Public Works.

Motion by Councilman DuBose, seconded by Councilman Shell to approve the Engineering Services Master Agreement for the Lower Fayetteville Road operations and Safety project.

MOTION CARRIED. (7 – 0)

SCOPE AND FEES FOR TASK ORDER NO 1; PRELIMINARY ENGINEERING, PHASE I; SCOPING FOR THE LOWER FAYETTEVILLE ROAD OPERATIONS AND SAFETY PROJECT

Motion by Councilman DuBose, seconded by Mayor Pro Tem Jenkins to approve the Scope and Fees for Task Order No 1; Preliminary Engineering, Phase I, Scoping for the

Lower Fayetteville Road Operations and Safety Project. The scope and fee proposal is \$684,789.77.

MOTION CARRIED. (6 – 0)

RENAMING PORTION OF WATER WORKS ROAD

Motion by Councilman Shell, seconded by Councilman DuBose instructed Staff to pursue this request to rename a section of Water Works Road (running from Lagrange Street south to Sewell Road) to Cougar Way.

MOTION CARRIED. (7 – 0)

HOUSING AUTHORITY OF NEWNAN – REQUEST- WAIVE PILOT FEES FOR 2019

Motion by Mayor Pro Tem Jenkins, seconded by Councilman DuBose to approve the request to waiver the PILOT payment for the Housing Authority of Newnan, to replace the basketball court on Boone Drive.

MOTION CARRIED. (7 – 0)

THREE MEAG POWER AGREEMENTS TO PURCHASE EXCESS POWER

Motion by Councilman DuBose, seconded by Councilman Koritko to approve MEAG Power Sale of excess power to the City of Newnan on behalf of the City of Cario.

MOTION CARRIED. (7 – 0)

Motion by Councilman DuBose, seconded by Councilman Koritko to approve MEAG Power Sale of excess power to the City of Newnan on behalf of the City of Griffin.

MOTION CARRIED. (7 – 0)

Motion by Councilman Koritko, seconded by Mayor Pro Tem Jenkins to approve MEAG Power Sale of excess power to the City of Newnan on behalf of the City of East Point.

MOTION CARRIED. (7 – 0)

CHANGE ORDER #1 THROUGH #5 – SPRAYBERRY ROAD RECREATIONAL DOG PARK PROJECT

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Alexander to approve change order #1 through #5 for the Sprayberry Road Recreational Dog Park Project for an additional \$425,000.

MOTION CARRIED. (7 – 0)

**RESOLUTION – TRANSMITTAL OF 2019 UPDATE TO CAPITAL IMPROVEMENTS
ELEMENT (CIE) INCLUDES SHORT-TERM WORK PROGRAM (STWP) – THREE
RIVERS REGIONAL COMMISSION (RC) AND GEORGIA DEPARTMENT OF
COMMUNITY AFFAIRS (DCA)**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Guillaume to adopt the resolution approving the transmittal of the 2019 update to the CIE, which includes the Short-Term Work Program (STWP).

MOTION CARRIED. (7 – 0)

**STATUS REPORTS – 10 BURCH STREET, 280 W. WASHINGTON ST, 121 PINSON
ST, 180 W. WASHINGTON ST, 11 MELSON, 15 ELM CIRCLE, 18 BERRY AVE AND 33
HARDAWAY ST**

<u>Property</u>	<u>Owner</u>	<u>Status</u>	<u>Resolution Deadline</u>
10 Burch Ave	Abdul S. Kader	Progress made	09/17/2019
280 W Washington	Irvin Jones Estate	No Progress	10/06/2019
121 Pinson St	Marcus Beasley	No progress	08/05/2019
180 W Washington St	Render Godfrey	No progress	09/07/2019
11 Melson St	Cassandra Richardson	No progress	
15 Elm Circle	Payne Estate		
18 Berry Ave	Dan Moten	No progress	10/15/2019
33 Hardaway St	Annie Cook estate	No progress	

These properties have been before Council with public hearings.

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Alexander to approve an extension of sixty (60) days with thirty (30) day reports for the substandard structure located at 121 Pinson Street for owner to complete the repairs.

MOTION CARRIED. (7 – 0)

The Code Enforcement Officer informed Council 11 Melson Street property has been sold. The new owner is requesting an extension and plans to be at the next meeting.

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Guillaume to approve an extension of sixty (60) days with thirty (30) day reports for the substandard structure located at 11 Melson Street for new owner to complete repairs.

MOTION CARRIED. (7 – 0)

REQUEST – NEWNAN CHAPTER #483 ORDER OF EASTERN STAR – 33RD ANNUAL DR. MARTIN LUTHER KING, JR, PARADE

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko to approve the request from Newnan Chapter #483, Order of the Eastern Star to conduct the 33rd Annual Dr. Martin Luther King, Jr. Parade in Newnan on January 11, 2020 beginning at noon.

MOTION CARRIED. (7 – 0)

REQUEST – WATERCREST SENIOR LIVING GROUP ASSISTED LIVING- CONSIDER CHANGE IN ORDINANCE TO ALLOW THEM TO SERVE ALCOHOL IN THEIR RESTAURANT AND BISTRO WITHOUT MEETING THE REQUIREMENT TO BE OPEN TO THE PUBLIC

Motion by Councilman DuBose, seconded by Mayor Pro Tem Jenkins to approve the request by Watercrest Senior Living Group Assisted Living to consider change in Ordinance to allow alcohol to be served in their restaurant and bistro without meeting the requirements to be open to the public also including Lillian Gardens to serve alcohol without event permit and for the Arts and Entertainment to serve alcohol that are not city events.

MOTION CARRIED. (7 – 0)

REQUEST – FRANKIE HARDEN-ONE ROOF - CONSIDER APPROVAL TO SIGN DOCUMENT TO ACCOMPANY APPLICATION TO DCA FOR EMERGENCY SOLUTIONS GRANTS PROGRAM ESG

Motion by Councilman Shell, seconded by Councilman Koritko to approve the request by Frankie Harden – One Roof for Mayor Brady to sign document to accompany application to DCA for Emergency Solutions Grants program ESG.

MOTION CARRIED. (7 - 0)

REQUEST – FRANKEY HENDERSON - COWETA SCHOOLS – HOLD ANNUAL STUDENT-VET CONNECT 5K ON NOVEMBER 9, 2019.

Motion by Councilman Guillaume, seconded by Councilman Koritko to approve the request from Frankey Henderson – Coweta Schools to hold Annual Student-Vet Connect 5K on November 9, 2019 7 – 10 am, same day as the Veteran’s Parade.

MOTION CARRIED. (7 – 0)

MAX KITCHENS – FILMING ON GREENVILLE STREET

Withdrawn.

MAYOR PRO TEM JENKINS

Mayor Pro Tem Jenkins passed out a copy several weeks ago the Kirkland Washington Cottage Housing Ordinance to see if this warrants crafting something for us.

EXECUTIVE SESSION

MOTION EXECUTIVE SESSION

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko that we now enter into closed session as allowed by O. C. G. A. §50-14-4 and pursuant to advice by the City Attorney, for the purpose of discussing real estate issues and that we move, in open session to adopt a resolution authorizing and directing the Mayor or presiding officer to execute an affidavit in compliance with O. C. G. A. §50-14-4, and that this body ratify the actions of the Council taken in closed session and confirm that the subject matters of the closed session were within exceptions permitted by the open meetings law at 3:20 pm.

MOTION CARRIED. (7 – 0)

RESOLUTION/MAYOR'S AFFIDAVIT FOR EXECUTIVE SESSION

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko to adopt the resolution authorizing the Mayor to execute the affidavit stating that the subject matter of the closed portion of the Council meeting was within the exceptions provided by O. C. G. A. §50-14-4(b).

MOTION CARRIED. (7 – 0)

ADJOURNMENT

Motion by Councilman Alexander, seconded by Councilman Koritko to adjourn the Council meeting at 3:59 pm.

MOTION CARRIED. (7 – 0)

Della Hill, City Clerk

Keith Brady, Mayor

RESIGNATION – NEWNAN CULTURAL ARTS COMMISSION – 8/27/2019

From: Kim Wright

Sent: Friday, August 16, 2019 11:53 AM

To: Katie Mosley

Subject: Re: NCAC Resignation

Hi Katie,

I would like to formally resign from the Newnan Cultural Arts Commission due to not having enough time to commit at this time. It has been such a pleasure to work with the group on the commission!!

Thank you!

Kim Wright

RESIGNATION – NEWNAN CULTURAL ARTS COMMISSION – 8/27/2019

From: Dave Dorrell

Sent: Friday, April 26, 2019 7:11 PM

To: Phyllis Graham ; Hasco Craver ; Dustin Koritko

Cc: John Thrasher <; Martha Parks <; Bette Hickman <; Craig Ruby <; pamela.prange <; Evette Mills <; Ellen Wood <;; maggie Hickman <; Katie Mosley <; Mandyabarrett <; Kim Wright

Subject: Newnan Cultural Arts Commission Resignation

Dear Phyllis and all members of the Newnan Cultural Arts Commission, I find it is time for me to send my resignation letter in to you for a number of reasons, the first one being my wife and I have moved out of Newnan to be closer to Atlanta. I also realize that for a good portion of the year I am out of pocket due to my position at the Georgia Renaissance Festival, and it is unfair to take a seat that could be occupied by someone else who can contribute more than I am currently able.

I have enjoyed the years I have served on this Commission, and have made some good friends, and I believe together we have produced some good events for the City of Newnan and the community as a whole. Now it is time vacate this position so another person can join the commission and propel the group into the future! And so I officially tender my resignation from the Cultural Arts Commission effective immediately.

I wish you all the best!

Dave Dorrell

August 20, 2019

Dear Mr. Phillips,

The Christmas Commission has finalized their suggestions for the upcoming holiday season. Please accept this letter as a formal request to place the following item on the Newnan City Council's August 27th , 2019 Meeting Agenda:

- Consideration for the Christmas Commission's request to remove the current lighting from the 31 laurel oaks in downtown and replace lighting on eight of those trees. Current lights on the trees were rated to last only 2-3 holiday seasons (90 days a year). At some point, a decision was made to turn the lights on every weekend, which has put undo stress on the existing lighting. Currently, 14 trees do not work properly. Facilities Maintenance has assisted with trouble shooting the existing light program and have offered some suggestions for repairs. However, this will continue to be an issue with the current materials in use.
 - The removal of the existing lights is quoted at \$85 an hour, which entails the contractor removing all of the lights on the trees and any staples or materials that currently hold them. Estimated to be 80 hours for a total of \$6800
 - Restrunging the eight suggested trees on the square is \$1399 per tree. Manufacturer warrants the lights for two full years of **year round usage**. Estimated cost for product and labor to reinstall the eight trees is \$11,192.
 - Contractor that the commission recommends using is Illuminating Design. They do the lighting for the Atlanta Botanical Gardens. They string the lights without having to staple or stick any items in the trees.
- Purchase new garland with attached lights for 16 of the posts around the courthouse on the square.
 - Product Cost : \$1540.60
- Purchase 16 bows to go with the garland on the posts.
 - Cost Estimate is \$1280.
- Make necessary repairs to the sleigh that sits on the square. Sleigh skis need to be reinforced.
 - Cost Estimate is \$1000.
- Purchase replacement ornaments for the downtown panel Christmas tree.
 - Cost Estimate is \$800.



- Continue to decorate the city parks and buildings as in years past.
 - Cost Estimate is \$1079.95

The Christmas Commission has worked hard to source appropriate product and contractors to who will be helpful in maintaining the lights and decorations moving forward.

Please contact me if you require any additional information.

Thank you for your time and consideration.

Kind Regards,

Page Beckwith
Staff Liaison
Christmas Commission

Memo

To: Mayor and Council

From: Brandon Lovett, Director of Water Operations

Date: August 14, 2019

Re: Request to Cut Timber

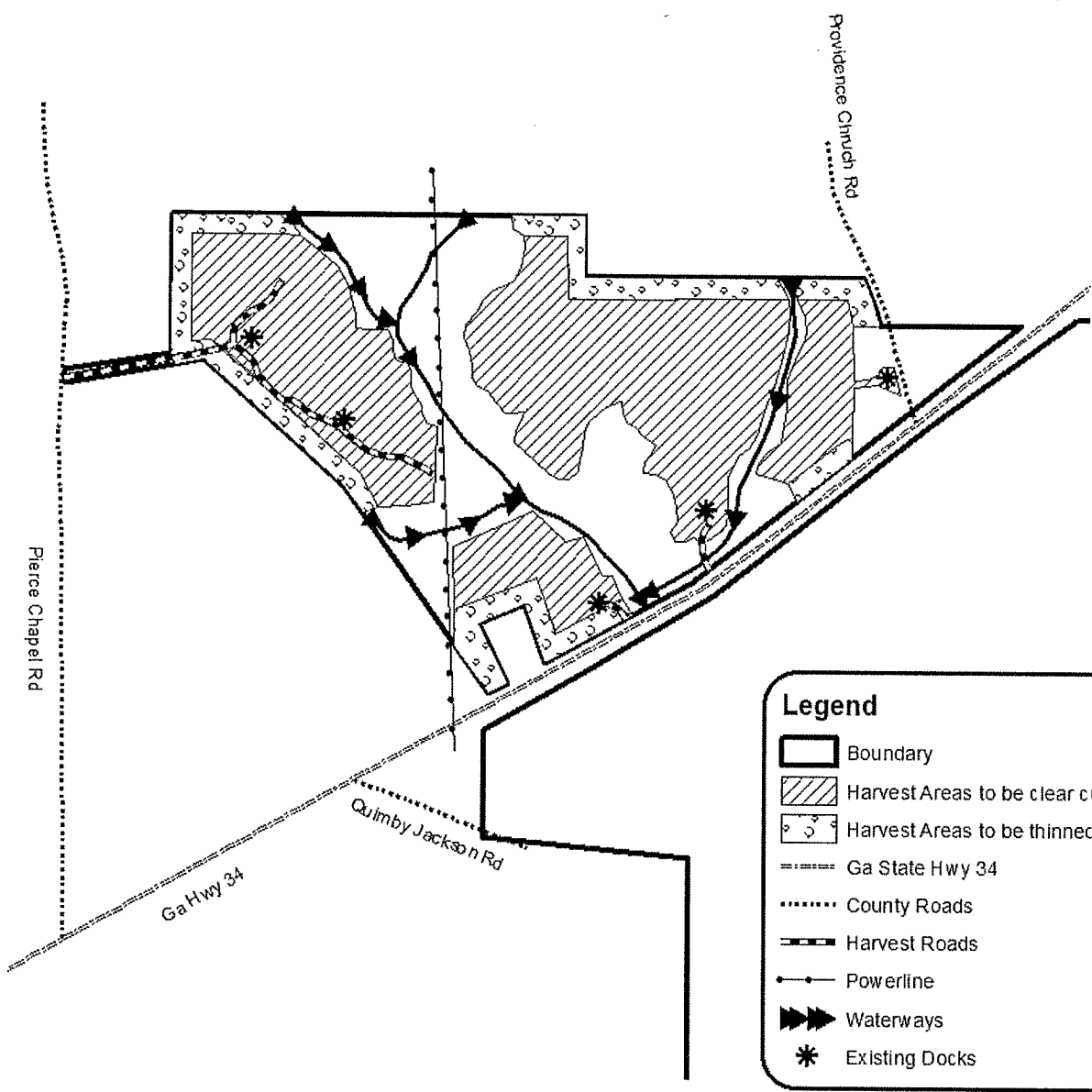
In accordance with our timber management program prescribed by Royal Forest Management Company, Newnan Utilities is recommending to Mayor and Council that we harvest timber on approximately 300 acres of forest land located on property held by The City of Newnan and purchased through funding provided by Newnan Utilities. This property is legally described as being located within LD 3&4; Land Lots 61, 62, 68, and 69. If you should have any questions please feel free to contact me.

Thank you for your consideration in this matter,



Brandon Lovett
Director of Water Operations
Newnan Utilities
770-683-6197

TIMBER HARVEST LOCATION MAP
 NEWNAN UTILITIES
 LD: 3 & 4 LL: 61, 62, 68 & 69
 COWETA COUNTY, GA



Legend

- Boundary
- Harvest Areas to be clear cut
- Harvest Areas to be thinned
- Ga State Hwy 34
- County Roads
- Harvest Roads
- Powerline
- Waterways
- Existing Docks

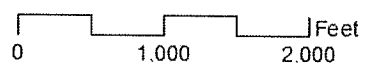


EXHIBIT "A"



City of Newnan, Mayor and Council

Date: August 27, 2019

Agenda Item: Consider RFPs for Engineering and/or Architectural Services for the 2020 CDBG Grant

Prepared and Presented by: Tracy S. Dunnavant, Planning Director

Purpose: To consider Requests for Proposals (RFPs) for engineering and/or architectural services related to the City's 2020 CDBG application.

Background: As you are aware, Staff was directed to seek RFPs for services related to the development of a CDBG grant application and for all design and construction management associated with the award of said grant. RFP submittal requirements were duly advertised and potential firms were given until August 6, 2019 at 10:00 a.m. to respond. Three firms submitted RFPs – Falcon Design Consultants, LLC, Carter Watkins Associates, and Engineering Design Technologies, Inc. The selection committee consisting of Tracy Dunnavant, Planning Director, Michael Klahr, City Engineer, Bill Stephenson, Building Official, Councilmember Ray DuBose, Councilmember Cynthia Jenkins and Councilmember Paul Guillaume reviewed the proposals and interviewed each firm. Each firm was given the opportunity to discuss their proposal and was asked questions regarding their approach and knowledge of the CDBG process. Upon completion of the interview phase, the selection committee was asked to complete a matrix rating 6 criterion based on the proposals/interviews. Criterion included: 1) ability to provide the disciplines necessary for the project; 2) firm's experience with this type of construction; 3) experience of key personnel; 4) quality of reference information; 5) experience with CDBG projects; 6) is price competitive. After compiling the results, Falcon Design Consultants, LLC received the highest number of points from the Committee.

Options:

- A. Award the contract to Falcon Design Consultants, LLC for CDBG Engineering/Architectural Services for preliminary engineering services (including a PER/PAR) not to exceed \$3,000 and for design and construction management services, if the grant is awarded, not to exceed 10% of the cost of construction
- B. Award the contract to another firm
- C. Other action as determined by Council

Recommendation: Staff recommends "Option A", award the contract to Falcon Design Consultants, LLC.

Funding Source: Fund Balance

Previous Discussions with Council: May 28, 2019

ENGINEERING SCORING	REVIEWER #1	REVIEWER #2	REVIEWER #3	REVIEWER #4	REVIEWER #5	REVIEWER #6	TOTAL
Falcon	9	3	11	12	11	12	58
EDT	11	7	8	4	9	9	48
Carter Watkins	11	7	8	10	10	8	54



City of Newnan, Georgia – Mayor and City Council

Date: August 27, 2019

Agenda Item: Rezoning Request RZ2019-05, for 5.603 ± acres located on East Broad Street – known as the Caldwell Tanks Property (Tax Parcel # N04 0010 006)

Prepared and Presented by: Tracy Dunnavant, Planning Director

Purpose:

The Residential Group, is seeking a rezoning for 5.603 ± acres located on East Broad Street (Tax Parcel #s N04 0010 006) known as the Caldwell Tanks site. The applicant was originally seeking to redevelop the subject tract as well as an additional one-acre site for a mixture of commercial businesses, offices, apartment units and a parking deck; however, after a series of public input meetings, the applicant decided to remove the one-acre site from the request. The 5.603 ± acres are currently zoned CBD (Central Business District) and the applicant is seeking an MXD (Mixed Use Development District) zoning designation. The MXD zoning allows greater flexibility in developing an overall plan that includes a mixture of uses. In the MXD zoning designation, the land uses and development standards are presented by the applicant through a concept plan which will become part of the zoning approval if the application is successful.

Background:

This application originally went before the City Council at their July 16th meeting. A public hearing was held and it was determined that the hearing would be continued to allow both sides to present additional information. The hearing was continued at two special called meetings held on July 25th and August 5th. As a result of those meetings, the applicant has proffered the following conditions which include changes to the original application:

- 1) The one-acre tract across from the railroad tracks will be removed from the rezoning request along with the LINC proffer for that site.
- 2) There will be 256,136 square feet of mixed-use development on the site.
- 3) The project will be limited to 285 luxury apartment units.
- 4) There will be 5,600 square feet of adaptive reuse – RD Cole office and an additional 13,500 square feet of adaptive reuse – existing warehouse.
- 5) The project will provide 503 total parking spaces (residential: 1 space/bedroom + 23% guest) with a breakdown as follows: 165 studio/1 bedroom = 165 spaces, 120 – 2 bedroom = 240 spaces, and guest/commercial = 98 spaces.
- 6) With the removal of the one-acre tract, there will be no need for a buffer variance on that property. The request has been withdrawn.
- 7) The height of the buildings fronting on East Broad Street will be limited to 3 stories.

An ordinance has been prepared for Council's consideration which includes the aforementioned proffers as well as a requirement to execute a developer's agreement to ensure consistency with the project data (as amended above) and architectural details that were provided as part of the application. The ordinance also limits the commercial uses to those allowed in the Central Business District.

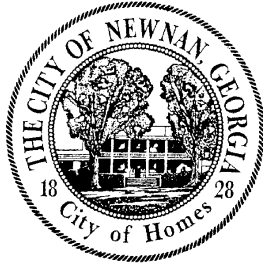
Options:

- A. Approve the rezoning request as submitted
- B. Approve the rezoning request, with conditions
- C. Deny the rezoning request

Attachments:

Original Staff Report
Application for Rezoning
Development Summary Report
Location Map
Community Impact Assessment
LCI Study Excerpt
Public Comments

Previous Discussions with Council: May 7, 2019; July 16, 2019; July 25, 2019; and August 5, 2019



City of Newnan, Georgia – Mayor and City Council

Date: July 16, 2019

Agenda Item: Rezoning Request RZ2019-05, for 6.667 ± acres located on East Broad Street – known as the Caldwell Tanks Property (Tax Parcel #s N04 0010 006 and N04 0012 001)

Prepared and Presented by: Tracy Dunnavant, Planning Director

Purpose:

Melissa Griffis, on behalf of The Residential Group, is seeking a rezoning for 6.667 ± acres located on East Broad Street (Tax Parcel #s N04 0010 006 and N04 0012 001) known as the Caldwell Tanks site. The applicant is seeking to redevelop the site for a mixture of commercial businesses, offices, apartment units and a parking deck. The 6.667 ± acres are currently zoned CBD (Central Business District) and the applicant is seeking a MXD (Mixed Use Development District) zoning designation. The MXD zoning allows greater flexibility in developing an overall plan that includes a mixture of uses. In the MXD zoning designation, the land uses and development standards are presented by the applicant through a concept plan which will become part of the zoning approval if the application is successful.

Background:

The subject tracts currently consist of a vacant gravel lot that is frequently used for parking during downtown filming (1.064 acres) and an inactive industrial tank building company (5.603 acres). The applicant is seeking a MXD zoning to accommodate multiple uses including 19,100 square feet of adaptive reuse (commercial and office) for the RD Cole office and the existing warehouse space, 348 residential apartments, 11,000 square feet of leasing/amenity space for the apartments, and a parking deck with 486 spaces. The development will also include approximately 21,781 square feet of open space. The amenities will consist of a pool, fitness center, and a clubhouse. In addition to the deck, the applicant will be providing 93 surface parking spaces for an overall total of 579 spaces.

The Caldwell Tanks property, located in the Coletown National Register Historic District, is a very significant site for the downtown. It has played an important role in the development of Newnan's economy and in the establishment of adjacent neighborhoods. As such, this property has been identified in the City's Livable Centers Initiative Study (LCI Study) as a prime target for redevelopment. In fact, 3 conceptual options were produced during the LCI Study to show how the property could be redeveloped as mixed use in the future. The applicant has incorporated some of the features from one of those concepts in developing his proposed site plan.

Present Zoning District	CBD
Proposed Zoning District	MXD
Current Land Use	Vacant gravel lot and inactive industrial building
Parcel Size	6.667 ± acres (total)

Surrounding Zoning Classifications

Vacant Lot:

North	East Washington R/W; CUN
East	RU-I
South	East Broad R/W and RU-I
West	Connector Road and CBD

Industrial Site:

North	East Broad R/W; CBD
East	Railroad R/W and RU-I
South	Salbide R/W and ILT
West	CBD

Surrounding Land Use Pattern

Vacant Land:

North	East Washington R/W; Office Space
East	Existing residence
South	East Broad R/W; existing residence
West	Railroad R/W; City of Newnan Parking Lot and Connector Road

Industrial Site:

North	East Broad R/W; County Administration Bldg.; Train Depot
East	Railroad R/W and existing residences
South	Salbide R/W; commercial businesses; community garden; existing residence
West	Commercial Businesses

Summary:

Staff analyzed the following criteria prior to formulating a recommendation:

Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?

The subject properties are primarily bordered by a mixture of uses including roads, railroad tracks, commercial businesses and existing residences. All of the adjacent tracts on the

west side of the railroad are either zoned commercial or light industrial. The properties on the east side of the tracks are split between commercial and residential zonings.

In an effort to maintain the character of the downtown community, the applicant is proposing architectural elements consistent with existing downtown buildings for the new construction. The existing warehouse and office buildings will remain and will be repurposed for commercial and office space. The steel framed buildings on the property, although historic, will be demolished due to their condition; however, the applicant plans to pay homage to the site's industrial heritage by incorporating features from the Caldwell Tank's buildings throughout the development. It should be noted that final elevations for the building will be required to go through the Certificate of Appropriateness application process even if the elevations are approved as part of the rezoning in order to ensure they are consistent with the architectural designs that were submitted as part of the application.

Both tracts currently have CBD zoning designations which already allow commercial and office in addition to apartments above storefronts. The CBD zoning district does not have parking requirements as the uses typically rely on the city lots or on street parking. If the applicant wanted to develop the site with all and commercial/retail and office uses on the lower levels and residential apartments above, they could do so within the current designation as long as the project meets City standards. In fact, with a Floor Area Ratio maximum of .70 in CBD, over 203,000 square feet of buildings could be built on the site. The only required Board review would be to ensure the buildings met Downtown Design Overlay Standards outside of any special exception requests.

Staff feels that a mixed use development would be a suitable use given the existing mixture of uses in the area and the fact that the apartments would serve as a better transition than commercial/office uses for the historic single-family homes. Since apartments above storefronts and retail/office businesses are already permissible within the CBD designation, the applicant is not seeking more intense uses for the property. That being said, staff would recommend limiting the commercial uses to those allowed in the CBD zoning designation if the project is approved.

Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?

The addition of 348 apartments and 19,100 square feet of commercial/office space will impact adjacent and nearby properties. The most significant impact will be additional traffic in the immediate area. Per the applicant's traffic study, there will be roughly 1,288 more trips generated each day with 165 more at morning peak hour and 198 more at evening peak hour. The greatest impact will be to East Broad and East Washington Streets where the applicant's traffic study anticipates 74% of the new trips will occur. Roughly 16% of the additional trips are projected to go north with the remaining 10% to the south. However, even with the additional traffic, the study indicates that the level of service will remain unchanged. It should also be mentioned that the completion of McIntosh Parkway and the possible Andrews Street extension, should help distribute some of this traffic to other areas.

In addition to the traffic, the portion of the development across the railroad tracks will house 41 residential apartment units. These units will be multi-story, so appropriate buffering will be needed to help screen the new development from the existing homes. In addition, the current zoning allows a maximum height of 45 feet in the Central Business District. The applicant has indicated that the apartments on the small tract would be three stories. Staff

would advocate making that a condition, given its location and proximity to the historic residential homes. In addition, with the parking spaces abutting the neighboring residential properties, there may be a need for some type of fencing or enhanced buffering to ensure lights don't shine in the neighbors' windows and to help minimize noise.

Another concern has been the impact of the development on existing parking. The applicant is proposing 579 total parking spaces for both tracts. This equates to roughly 1.66 spaces per unit. This breaks down to 1 space per bedroom (215 for the studio and one bedroom apartments and 133 for the two bedrooms) plus 98 additional spaces for the commercial/office uses and guest parking. It should be noted that downtown apartment developments typically attract more empty nesters and singles. In fact, the Newnan Lofts office staff indicated that 95% of their tenants fit this profile. That being said, the applicant is only providing 48 total spaces across East Broad to accommodate 41 units. This will probably result in some on-street parking since some units may have more than one car or may have guests that will want to park closer than the parking deck.

In terms of positive impact, the apartments will provide a boost to the downtown economy. Residents from the new apartments will take advantage of the shopping, dining and services in close proximity to the development. It will also clean up an existing industrial site that has been targeted in all of the City's future planning as a redevelopment opportunity. It should also be mentioned that the applicant has indicated a willingness to provide an easement to accommodate the LINC on the small tract on the north side of East Broad Street. This will tie the City's trail system into the existing sidewalk system.

Are their substantial reasons why the property cannot or should not be used as currently zoned?

The property is currently zoned CBD which would permit commercial/office uses as well as apartments above storefronts. The industrial use was grandfathered; however, that status is no longer valid since the plant has ceased operation for more than six months.

Staff feels the property could be used as currently zoned. The CBD zoning designation would allow numerous uses including all that the applicant is requesting except for ground floor residential. One big difference is that development in the CBD district does not have specific parking requirements, except for ground floor residential which requires one space per unit. By going with the MXD zoning designation, the City will have greater input into the project including the architecture, density, and parking.

Will the proposed use cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?

As a requirement for multifamily developments exceeding 150 units, the applicant must submit a Community Impact Assessment which looks at the services listed above and provides a financial analysis of the project. A copy of the full assessment has been provided with the accompanying documentation for this report. A summary of the assessment's findings are as follows:

Traffic:

The traffic expected to be generated by the proposed development is shown in the following table:

EXPECTED TRIP GENERATION									
LAND USE CODE	LAND USE	SIZE	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			ENTER/EXIT	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
150	Warehouse	13.5 ksf	18	2	1	3	1	3	4
220	Low-Rise Apartment	24 Units	88	3	8	1	8	5	13
220	Low-Rise Apartment	316 Units	1157	33	112	145	112	65	177
710	Office	5.6 ksf	25	5	1	6	1	5	6
TOTAL			1288	43	122	165	121	77	198

The existing traffic volumes on the streets in the study area are very low. The volumes on East Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour. Since the proposed driveways will be near the railroad crossings, the length of the longest expected queues along Broad Street and Washington Street were evaluated using capacity analysis. It was determined that the queuing would not exceed one or two vehicles and would likely not extend back to the crossings. The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site.

It was determined that the additional traffic from this development will have very little impact on the operations of the street system in the study area. The impact of additional traffic is highest for the Thompson Street approach to E. Broad Street. The additional delay for this movement will be about 9 seconds per vehicle during the PM Peak Hour. This movement has a Level of Service (LOS) D at present which remains unchanged as a result of the project. Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with E. Broad Street and E. Washington Street. It is recommended that the development plans seek ways to incorporate the Linc Multi-Use Trail system.

School:

A letter was received from Ronnie Cheek, Operations Director for the Coweta County School System, who provided information on the expected impact. Mr. Cheek indicated that many of the schools serving this District are currently at or near capacity and that serving the needs of the proposed development may present challenges. He asked that as much advance notice as possible be provided to the school system with additional information about the schedule. The assessment does point out that an additional tax revenue of \$360,012 per year would be dedicated to the school system as a result of the proposed development and that the project will be targeted towards tenants who are less likely to have school age children.

Fire:

Chief Brown has indicated that the Newnan Fire Department does have adequate man power and equipment to properly service the property.

Police:

Police Chief Meadows has amended his original report and has now indicated that the development will generate an additional 40 calls per year for each of the 35 police officer servicing calls. This is based on historical information concerning number of calls for service, response time, and number of officers. He has indicated that they would be able to service the development, but it would require a longer response time.

Newnan Utilities:

Scott Tolar has written a letter stating that Newnan Utilities has adequate capacity to provide water, sewer and electric service to the site. It should be noted that the electrical has been supplied by another provider in the past.

City of Newnan Tax Revenue:

The subject property, Parcel N04 0010 006 and N04 0012 001, currently have an assessed values of \$1,373,200 and \$120,910 respectively for a total of \$1,494,110. Tax parcel information from the qPublic website is included as Attachment F on the assessment. It is estimated that the fair market value of the property would increase to \$50 million with the proposed improvements. The assessed valuation would be 40% of the fair market value or \$20 million. The following table shows the estimated change in tax revenues for the County, City and School System.

ESTIMATED CHANGE IN ANNUAL PROPERTY TAX REVENUE				
ENTITY	MILLAGE RATE	EXISTING (\$1,494,110 Value)	IMPROVED (\$50,000,000 Value)	ADDITIONAL PROPERTY TAX
County	7.63	\$4,560.02	\$152,600.00	\$148,039.98
School	18.59	\$11,110.20	\$371,800.00	\$360,689.80
City	4	\$2,390.58	\$80,000.00	\$77,609.42
TOTAL	30.22	\$18,060.80	\$604,400.00	\$586,339.20

In addition to the tax revenue, the proposed project would generate impact fees as follows:

Development Impact Fee	\$1,136.07 per unit	\$386,263
Sanitary Sewer Impact Fee	\$1,800 per unit	\$612,000
Water Meter and Extension Fees	Estimated	\$100,000
TOTAL IMPACT FEES		\$1,098,263 (Estimated)

It should be noted that the developer has not asked the City for any incentives or sought the waiver of any permits or impact fees.

Engineering:

Environmental Concerns:

1. The development plan shall follow and comply fully with the Georgia Storm Water Management Manual, latest edition. All storm water management facilities shall be located on open space to the extent possible.
2. Any contaminated soils discovered shall be reclaimed and/or disposed of properly and permitted with the EPD. Reports of this nature shall be made available to the City Engineer as soon as available.

Access, Layout, and Road Concerns:

1. ADA compliant five (5) foot sidewalks shall be provided on both sides of the proposed new street within the community, and streetscape sidewalks to match existing along East Broad Street and Salbide Avenue frontages to provide the connectivity to the streetscape.
2. There should also be no on street parking between the entrance/exit and the railroad.
3. All open/ public spaces including the parking deck shall be ADA compliant with sidewalk access and connectivity to the public street system.

Trip Impact Statement:

A traffic impact study was prepared by Vern Wilburn with Maldino and Wilburn. The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site. The volumes on East Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour. The additional traffic generated will be able to be handled by the existing infrastructure. The traffic engineer noted two observations that will affect the design and layout of this development. The proposed driveway onto East Broad Street should be setback from the railroad tracks enough to allow for adequate stacking of at least two cars (refer to 2, above, Access, Layout and Road Concerns), and improvements should be considered for the intersection of Thompson Street and East Broad Street. Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with East Broad Street and East Washington Street. Additionally it was noted that the development should be tied to the LINC as it is so near the LINC corridor.

Is the proposed use compatible with the purpose and intent of the comprehensive plan?

The Future Land Use Map shows both properties as a future commercial; however, in the Comprehensive Plan's Economic Development Goals and Policies (page 26), it specifically states "promoting mixed-use development for the Caldwell Tanks" site. Under the Housing Goals and Policies it states that the City needs to protect existing historic residential neighborhoods in downtown and the surrounding historic districts" while also "encouraging and supporting development of multifamily/lofts through commercial/adaptive

use/redevelopment” and locating them “near integrated amenities/other uses (mixing of uses).”

The City has consistently touted the need for redevelopment of the Caldwell Tanks site. In fact, the City’s LCI Study states in its Workshop Consensus Points, developed from the City’s four public workshops, that “although many future uses were suggested ranging from a sports arena to parking, the consensus seemed to be that the site be developed mixed-use and/or commercial.” Also, Under the Growth and Redevelopment Vision, the study specifies “rehabilitation and new construction for mixed-use development including housing, commercial, specialty retail/entertainment and open space” for the site. Under Future Land Use in the study, Caldwell Tanks is identified as “Mixed-Use: Predominantly Residential – Shown in purple, these are areas that include a mix of various land uses within the same contiguous parcel. The mix of uses can be included within the same building/ structure OR in individual buildings/structures within the same parcel. In the case of this category, “Predominantly Residential” denotes that the parcel would include more residential than commercial square footage within the same parcel of land.” An excerpt from the LCI study specifically showing the concepts and commentary regarding the site has been included with this report for reference purposes.

Will the use be consistent with the purpose and intent of the proposed zoning district?

The proposed use would be consistent with the purpose and intent of the proposed zoning as a mixture of commercial, office, and residential uses are allowable in the MXD zoning designation.

Is the proposed use supported by new or changing conditions not anticipated by the comprehensive plan?

As specified above, the Future Land Use map shows this property as future commercial and the plan itself identifies it as a mixed use development site. There are no new or changing conditions that would impact the designations shown in the comprehensive plan.

Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?

This project requires a delicate balance to be achieved between redeveloping the site and protecting the character of the downtown and the Coletown National Register District and its historic single-family homes. As currently zoned, there are numerous commercial and office uses that can be developed on the two tracts by simply meeting the existing requirements of the CBD district. While the mixed use development will increase traffic, developing the site completely with commercial and office uses will generate a much greater number of trips than the apartments. In addition, the MXD zoning designation will allow the City to have more input into the project’s design and ensure that what is promised by the applicant will be the final product. Therefore, Staff does believe that the proposed use does reflect a reasonable balance.

Options:

- A. Approve the rezoning request as submitted
- B. Approve the rezoning request, with conditions
- C. Deny the rezoning request

Planning Commission Recommendation:

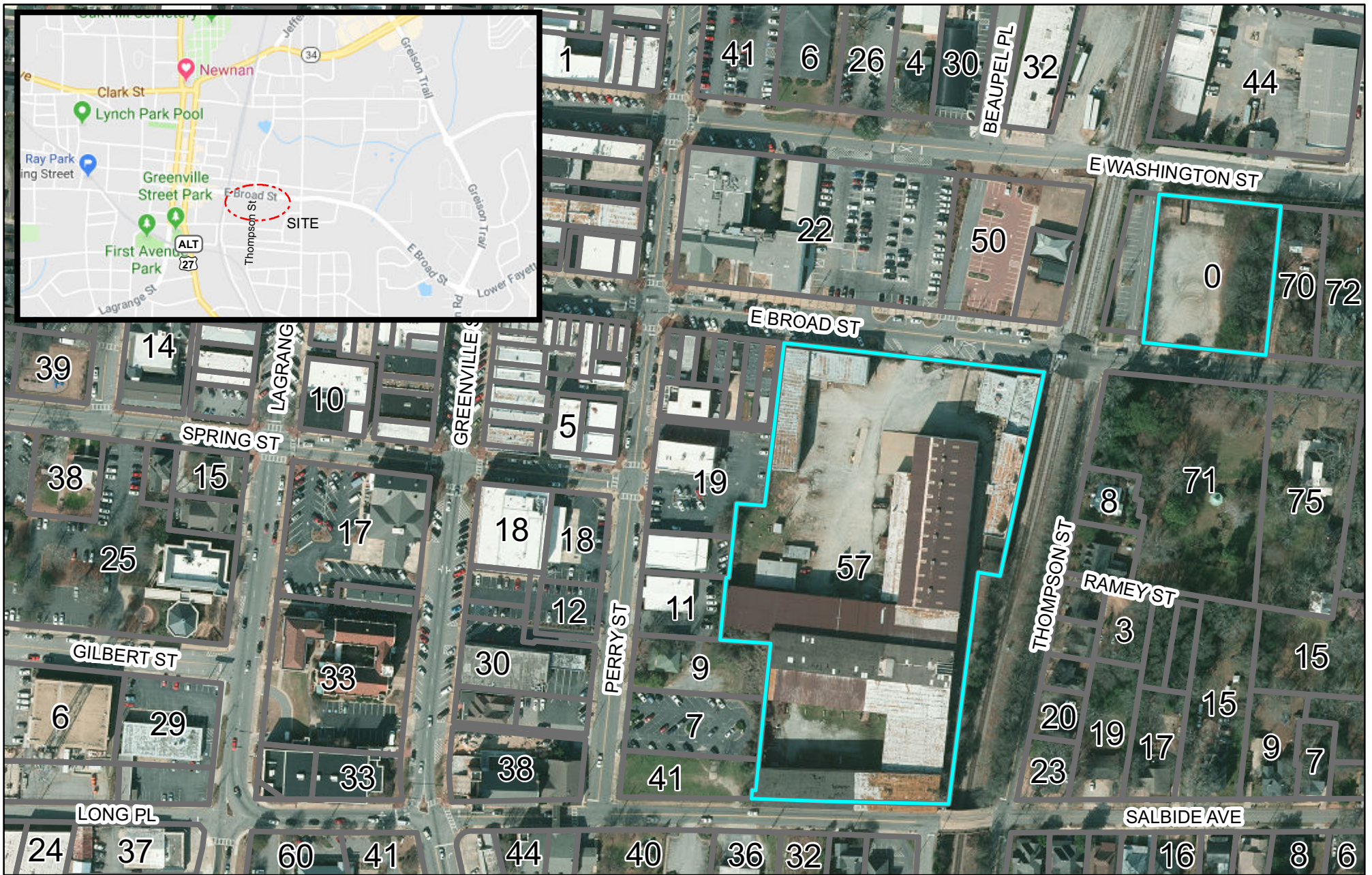
At their June 11, 2019 meeting, the Planning Commission held a public hearing on the aforementioned requests and voted unanimously to recommend Option “C”, deny the rezoning request as submitted.

However, if Council should choose to approve the rezoning request, Staff would recommend conditioning the approval as follows:

1. The project will be subject to a developer’s agreement being executed by the applicant to ensure consistency with the concept plan, density, project data and architectural details as provided as part of the application.
2. The development will utilize architectural guidelines and covenants to ensure a quality product.
3. The development will be limited to a maximum of 348 apartment units and a minimum of 579 total parking spaces.
 - a. The 1.064 acre tract north of East Broad Street shall be limited to 41 apartment units and 48 parking spaces.
 - b. The 5.603 acre tract south of East Broad Street shall be limited to 307 apartment units and 531 parking spaces.
4. The non-residential uses on the property will be limited to those uses allowed in the Central Business District.
5. The apartments proposed on the 1.064 acre tract north of East Broad Street shall be limited to three stories in height.
6. The applicant will work with the City’s Landscape Architect to ensure adequate buffering is provided in the 10 foot landscape strip between the 1 acre tract on the north side of East Broad Street and the adjacent residential property.

Attachments: Application for Rezoning
 Development Summary Report
 Location Map
 Community Impact Assessment
 LCI Study Excerpt
 Public Comments

Previous Discussions with Council: May 7, 2019



CITY OF NEWNAN | Project Location



CITY OF NEWNAN
 PLANNING DEPT.
 25 LAGRANGE STREET
 NEWNAN, GEORGIA 30263
www.ci.newnan.ga.us



LEGEND

- Project Location
- PARCELS
- CITY LIMITS

ADDRESS

E BROAD ST @ THOMPSON ST
 NEWNAN GA. 30263

ROSENZWEIG, JONES, HORNE & GRIFFIS, P.C.
ATTORNEYS AT LAW
32 South Court Square
PO Box 220
NEWNAN, GEORGIA 30264
www.newnanlaw.com

MELISSA D. GRIFFIS (GA, AL)

TELEPHONE (770) 253-3282
FAX (770) 251-7262
E-mail:melissa@newnanlaw.com

April 25, 2019

HAND DELIVERY

Ms. Tracy Dunnivant, Planning Director
The City of Newnan
25 LaGrange Street
Newnan, Georgia 30263

RE: Application of The Residential Group to Amend the Zoning Ordinance and
Variance Request
Approximately 6.667± Acres located at 57 East Broad Street and a lot on
East Broad Street, Newnan, Georgia

Dear Ms. Dunnivant:

The Residential Group, applicant in the above-described property ("the Property") in the City of Newnan, Georgia, hereby makes this application to amend the zoning ordinance, to allow rezoning of the approximate 6.667 +/- acres to be rezoned from CBD to MXD.

The Village in Newnan is a 6.7 acre mixed-use development located on the original R.D. Cole Manufacturing site, now referred to as the Caldwell Tanks Site and a 1 acres parcel bounded by East Broad Street, East Washington Street and the Atlanta and West Point Railroad right of way.

The 2014 Newnan Livable Centers Initiative Final Report established long term goals for preservation and redevelopment of the property "as a mix of land uses that would capture a large portion of the area's longer term retail and residential demands. A mixed use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24 hour life and spending power, creating more of a critical mass of new residents in close proximity".

The development proposal will renovate and reuse the late 1800's office building and the attached 3 story warehouse, as well as the construction of 340 luxury apartment homes organized around a new street between E Broad Street and Salbide Avenue, and a parking deck. The plan proposes commercial frontage on East Broad Street, which accommodate the community leasing and amenity functions, to close the gap between existing businesses to the east of the property and the Caldwell Office building.

The proposed community is within a 5 minute walk to the Court House Square, and will make a significant contribution to the goals of the LCI by adding more spending power

and creating a more critical mass of new residents in close proximity to the vibrant business district.

Building typology consists of the adaptive reuse of historic structures, three and four story residential buildings, commercial frontage on East Broad Street with residential above. Parking is achieved in a multi-level deck, surface and individual garages.

As noted on the "Application to Amend Zoning Text" form enclosed herewith, the Property is the best location for an MXD zoning as it is a prime location for CBD uses of commercial, office and/or institutional along with a transition for a multi-family component. The rezoning will allow for re-development of this current property that has been vacant with buildings and parking for many years. The MXD zoning will be beneficial to the business owners and residents not only at The Property, but also the surrounding area.

As with any re-development of a site for mixed use, there are certain items that need to be addressed that differ from a brand new construction. The first item is the common recreation area requirement. Due to the site limitations for this re-development, the inside amenities, the park and the dedication of the easement for the LINC, the plan is created with its common recreation offerings. Next, the plans allow for the inclusion of the Property for the loft-style exemption regarding impervious surface.

The interior streets shall be with an 11 foot drive as traffic calming is throughout the development and again this is a re-development of property. The parking requirements will be satisfied with a parking deck including 408 spaces allowed with a percentage of 50% one-bedroom apartments, 12% studio apartments, and 38% 2-bedroom apartments. There will be much ground floor residential parking and on-street parking allowing for the flexibility of the CBD district component in this MXD rezoning.

A challenge exists in regards to the street trees when trying to create a re-development of this Property with 30 ft. (OC) allowed throughout the development. The re-development of this Property allows for 7.5 – 15% of open space through the site.

The re-development for the MXD district includes a proffered condition for an easement to the LINC adjacent to this property. Therefore, the exception for the reduction by 50% of the open space requirement should apply.

Ms. Tracy Dunnavant, Planning Director
April 25, 2019
Page 3

The re-development of the Property also prohibits the dedicated area for loading other than the hatched area as shown on the plan. The Property as it exists is largely devoid of trees and the Applicant will provide a landscape plan to address the reuse of the property along with the MXD components for landscaping throughout the development. Further, the landscape plan will show a 5 foot minimum between adjacent parking rows instead of the 8 foot plan due to the donation of the LINC easement reducing lot width.

All buildings will include sprinkler systems per fire code safety standards.

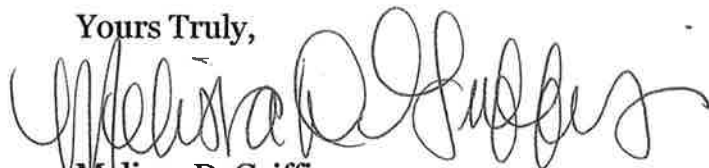
There are many proffered conditions in the attached zoning application packet. Please also see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted or also to be considered as proffered conditions. The proposed amendment will facilitate the smart growth and development that is expected in the City of Newnan.

For the reasons stated above, Residential Group believes that this application is not only consistent with, but advances the intent of the City of Newnan. Zoning Ordinance.

The Residential Group has, at attached Tabs (1) through (11) included all materials required per the Application Form and applicable Ordinance provision. As always, should you have any questions about the material submitted, or should you require additional information, please do not hesitate to contact me. The Residential Group, as Applicant and myself as counsel for The Residential Group, look forward to working with you and your staff as you review and analyze the enclosed Application.

I look forward to receiving the Planner's Recommendation in the near future.

Yours Truly,



Melissa D. Griffis
For The Residential Group

MDG/kr
Enclosure(s)

TAB 1

Application to Amend the Zoning Map



CITY OF NEWNAN, GEORGIA
Planning & Zoning Department

25 LaGrange Street
Newnan, Georgia 30263
Office (770) 254-2354
Fax (770) 254-2361

APPLICATION TO AMEND ZONING MAP

Note to Applicant: Please be sure to complete all entries on the application form. If you are uncertain to the applicability of an item, contact The Planning & Zoning Department at 770-254-2354. Incomplete applications or applications submitted after the deadline *will not be accepted.*

Name of Applicant The Residential Group

Mailing Address 7100 Peachtree Dunwoody Road, NE, Atlanta, GA 30328

Telephone (678) 244-1544 ext. 106 Email: kalexander@trg-atl.com

Property Owner (Use back if multiple names) Broad Street Forum, Inc.

Mailing Address 3500 Highway 34 East, Suite 14, Sharpsburg, GA 30277

Telephone (502) 548-0272

Address/Location of Property 57 East Broad Street, Newnan, Ga 30263 and lot

Tax Parcel No.: N04 0010 006 and N04 0012 001 Land Lot 25

District/Section 5th Size of Property (Square Feet or Acres) 6.667 acres

Present Zoning Classification: CBD Proposed Zoning Classification: MXD

Present Land Use: Vacant with former manufacturing buildings

To the best of your ability, please answer the following questions regarding the application:

Explain how conditions have changed that renders the zoning map designation invalid and no longer applicable The Subject Property has been vacant for numerous years as the manufacturing company went out of business. Redevelopment of this area is needed which requires a different zoning classification.

If the proposed zoning map change is an extension of an existing adjacent zoning district, provide an explanation why the proposed extension should be made _____

If the requested change is not designed to extend an adjacent zoning district, explain why this property should be placed in a different zoning district than all adjoining property. In other words, how does this property differ from adjoining property and why should it be subject to different restrictions? The Subject Property should be included in the newly created MXD zoning district to allow for redevelopment of this property. Additionally, a need exists for a residential component and any businesses or uses allowed in the CBD.

Please attach all the following items to the completed application:

1. A letter of intent giving the details of the proposed use of the property which should include, at a minimum, the following information:
 - What the property is to be used for, if known.
 - The size of the parcel or tract.
 - The zoning classification requested and the existing classification at the filing of this application.
 - The number of units proposed.
 - For non-residential projects, provide the density of development in terms of floor area ratio (FAR).
 - Any proposed buffers and modification to existing buffers.
 - Availability of water and sewer facilities including existing distance to property.
2. Name and mailing addresses of all owners of all property within 250 feet of the subject property (available from the County Tax Assessor records). This is encouraged to be submitted in a mail merge Microsoft Word data file format.
3. Legal description of property. This description must establish a point of beginning; and from the point of beginning, give each dimension bounding the property that the boundary follows around the property returning to the point of beginning. If there are multiple property owners, all properties must be combined into one legal description. If the properties are not contiguous, a separate application and legal description must be submitted for each property. For requests for multiple zoning districts, a separate application and legal description must be submitted for each district requested. A copy of the deed may substitute for a separate description.
4. A certified plat (stamped and dated) drawn to scale by a registered engineer, architect, land planner, land surveyor, or landscape architect that shall include the following information:
 - ✓ Boundary survey showing property lines with lengths and bearings
 - ✓ Adjoining streets, existing and proposed, showing right-of-way
 - ✓ Locations of existing buildings dimensioned and to scale, paved areas, dedicated parking spaces, and other property improvements
 - ✓ North arrow and scale
 - ✓ Adjacent land ownership, zoning and current land use
 - ✓ Total and net acreage of property
 - ✓ Proposed building locations
 - ✓ Existing and proposed driveway(s)
 - ✓ Lakes, ponds, streams, and other watercourses
 - ✓ Floodplain, wetlands, and slopes equal to or greater than 20 percent
 - ✓ Cemeteries, burial grounds, and other historic or culturally significant features
 - ✓ Required and/or proposed setbacks and buffers
5. Submit one (1) copy in an 18" x 24" format and one copy in a pdf digital file format.
6. Completed Proffered Conditions form.
7. Completed Disclosure of Campaign Contributions and Gifts form.
8. If the applicant and the property owner are not the same, complete the Property Owner's Authorization form and/or the Authorization of Attorney form.
9. For multiple owners, a Property Owner's Authorization form shall be submitted for each owner.
10. A community impact study must be submitted if the development meets any of the following criteria:
 - Office proposals in excess of 200,000 gross square feet
 - Commercial proposals in excess of 250,000 gross square feet
 - Industrial proposals which would employ over 500 persons
 - Multi-Family proposals in excess of 150 units

11. A Development of Regional Impact form shall be completed and submitted to the City if the request meets any of the criteria in §10-10 (b)(2)(h) on page 10-7 of the Newnan Zoning Ordinance.

12. Fees for Amending the Zoning Map shall be made payable to the **City of Newnan** and are listed below:

<input type="checkbox"/>	Single-Family Application	\$500.00/Plus \$15.00 Per Acre
<input type="checkbox"/>	Multi-Family Application	\$500.00/Plus \$25.00 Per Acre
<input type="checkbox"/>	Office/Institutional Application	\$500.00/Plus \$15.00 Per Acre
<input type="checkbox"/>	Commercial Application	\$500.00/Plus \$25.00 Per Acre
<input type="checkbox"/>	Industrial Application	\$500.00/Plus \$15.00 Per Acre
<input checked="" type="checkbox"/>	MXD.....	\$500.00/Plus \$25.00 Per Acre For multi-family and \$15.00 Per Acre for CBD

PLEASE NOTE: THIS APPLICATION MUST BE FILED BY THE 1st OF THE MONTH TO BE CONSIDERED FOR THE PLANNING COMMISSION MEETING OF THE FOLLOWING MONTH.

I (We) hereby authorize the staff of the City of Newnan to inspect the premises of the above-described property. I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application.

Sworn to and subscribed before me this

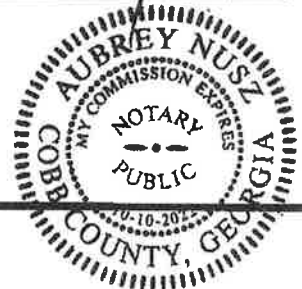
24 day of April, 20 19

Signature of Applicant

Aubrey Nusz

Notary Public

(Affix Raised Seal Here)



FOR OFFICIAL USE ONLY

DATE OF PRE-APPLICATION CONFERENCE _____

RECEIVED BY _____

DATE OF FILING _____

FILING FEE RECEIVED _____

DATE OF NOTICE TO NEWSPAPER _____

DATE OF PUBLIC HEARING _____

PLANNING COMMISSION RECOMMENDATION (DATE) _____

DATE OF TRANSMITTAL TO CITY COUNCIL _____

CITY COUNCIL DECISION (DATE) _____

TAB 2

**Names and Addresses of All Property
Owners Within 250' Feet**

PROPERTY OWNERS WITHIN 250' OF TRACT ONE

3D PROPERTY GROUP LLC
1917 OLD ORCHARD RD
VESTAVIA HILLS AL 35216

75 JACKSON LLC
P O BOX 1058
NEWNAN GA 30264

ALDRICH GROUP LLC
2 BEACON CREST
NEWNAN GA 30265

ALLEN JEFFREY DEAN
76 EAST BROAD ST
NEWNAN GA 30263

ARINCO CORP
P O BOX 71158
NEWNAN GA 302711158

B & P LEE PROPERTIES INC
2 LAKEVIEW DR
NEWNAN GA 30263

BAILEY JOSEPHINE
16 SALBIDE AVE
NEWNAN GA 30263

BALL RONALD
263 KEYS FERRY RD
JACKSON GA 30233

BALL RONALD
263 KEYS FERRY RD
JACKSON GA 30233

BARBER A MICHAEL & JULIA G BARBER
19 BROOKSIDE DR
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC
14 JACKSON ST
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC
14 JACKSON ST
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC
14 JACKSON ST
NEWNAN GA 30263

BEAVERS BROTHERS LLC
32 E WASHINGTON ST
NEWNAN GA 30263

BEERS ELIZABETH ALLEN (LIFE EST)
15 ROBINSON ST
NEWNAN GA 30263

BERNSTEIN GARY
P O BOX 1154
NEWNAN GA 30264

BOYD R DAVID & ROSALYN MCKOY
10 ALPINE DR
NEWNAN GA 30263

BROAD STREET FORUM INC
4000 TOWER RD
LOUISVILLE KY 40219

BROAD STREET FORUM INC
STE 141 3500 HWY 34 E
SHARPSBURG GA 30277

BRODERICK JOHN W & MAUREE
70 EAST BRD ST
NEWNAN GA 30263

CAAP GROUP LLC
68 BETHLEHEM CHURCH RD
MORELAND GA 30259

CAMERON PATRICIA
0032 SAVANNAH ST
NEWNAN GA 30263

CATFISH HOLLOW INC
115 REGAL OAK CT
TYRONE GA 30290

CHAPMAN WILLIAM KEITH & LYNN I CHA
71 E BROAD ST
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA
25 LAGRANGE ST
NEWNAN GA 30263

COMMERCIAL HOUSE LLC
197 JACKSON ST
NEWNAN GA 30263

COOPER SHIRLEY P, DBA COOK OFFICE
P O BOX 1196
NEWNAN GA 30264

COOSAWATT INVESTORS LLC
P O BOX 3468
PEACHTREE CITY GA 30269

COWETA COUNTY

DAVIDSON TERRI
4765 OAK GROVE CT
WINSTON GA 30187

DEAN J W MRS, C/O MRS EDGAR SMITH
90 THOMAS CROSSING DR
NEWNAN GA 30265

DOWNTOWN PRESERVATION PROP
STE 3300 1 1755 HWY 34 E
NEWNAN GA 30265

E R JONES PROPERTIES LLC
12 ALPINE DR
NEWNAN GA 30263

DREAM PROPERTIES OF WEST GA
1755 MONROE DRIVE NE
ATLANTA GA 30324

E4 HOLDINGS LLC
PO BOX 1197
NEWNAN GA 30264

EAST BROAD ST INVESTMENTS LLC
C/O MICHAEL SUMNER MANAGER
14 EAST BROAD ST
NEWNAN GA 30263

ELLIOTT W KERRY DR
PO BOX 224
NEWNAN GA 30264

FAISON MATTIE
40 THOMPSON ST
NEWNAN GA 30263

FANNING CYNTHIA DIANE
44 PERRY ST
NEWNAN GA 30263

FIRST METHODIST CHURCH

FIRST NATIONAL INVESTMENTS LLC
P O BOX 2567
NEWNAN GA 30264

FIRST UNION NATL BK OF GA, C/O
PO BOX 2609
CARLSBAD CA 92018

FIRST UNITED METHODIST CHURCH
OF NEWNAN
33 GREEVILLE ST
NEWNAN GA 30263

FLETCHER DAVID MARK
8741 CAMPBELLTON REDWINE RD
PALMETTO GA 30268

FLETCHER DAVID MARK
8741 CAMPBELLTON REDWINE RD
PALMETTO GA 30268

FLETCHER DAVID MARK
8741 CAMPBELLTON REDWINE RD
PALMETTO GA 30268

FLETCHER MARK & JOY FLETCHER
8741 CAMPBELLTON REDWINE RD
PALMETTO GA 30268

GERRIT PARK LLC
APT 1 1 895 MAIN ST
HACKENSACK NJ 07601

GOODSON JENNIFER & BRIAN
78 E BROAD ST
NEWNAN GA 30263

GPH PROPERTIES LLC
PO BOX 71912
NEWNAN GA 30271

GRIFFITH, DAVID R
8 E BROAD ST
NEWNAN GA 30263

GRISSOM EMILY
3867 PACES LOOKOUT DR
ATLANTA GA 30339

GUY REBECCA
79 SECOND AVE
NEWNAN GA 30263

HANCOCK CANDACE C
104 WOODBINE CIR
NEWNAN GA 30263

HARRIS ELIZABETH N
9 SALBIDE AVE
NEWNAN GA 30263
HEADLEY WILLIAM V
PO BOX 719 1 44 E WASHINGTON ST
NEWNAN GA 30264

HARRISON DANA M
12 SALBIDE AVE
NEWNAN GA 30263
HORNE SCOTT & MARSHA HORNE
8 DOGWOOD RD
NEWNAN GA 30263

HAUGEN WALTER SANDERS
5 BUCHANAN ST
NEWNAN GA 30263
HURLER PETER F
22 WOODLANE DR
NEWNAN GA 30263

HURLER PETER F
22 WOODLANE DR
NEWNAN GA 30263

J&L ENTERPRISES LLC
601 HANNAH RD
NEWNAN GA 30263

JOHNSON AMY KATRICE
34 B PERRY ST
NEWNAN GA 30263

JOHNSON JACQUELINE O & EDWARD
455 FAIRWAY CT
NEWNAN GA 30265

MARCUS & LEROY
P O BOX 764
NEWNAN GA 30264

JONES LAUREN BURKE & WILLIAM M
117 GREENVILLE ST
NEWNAN GA 30263

KNOX HOLDINGS LLC
75 GREENVILLE ST
NEWNAN GA 30263

LANDRUM LAVANN P & CHARLES, LAUR LEVINE BUILDING LLC
0075 EAST BRD ST
NEWNAN GA 30263

14 JACKSON ST
NEWNAN GA 30263

LINTON ADVISORS LLC
49 VANDERBILT POINTE LN
NEWNAN GA 30265

LITTLE GARY
13 E BRD ST
NEWNAN GA 30263

LONGSTRAW INVESTMENTS LLC
STE D 145 SUTHERLAND DR
NEWNAN GA 30263

LOVEJOY MEMORIAL UNITED

NEWNAN GA 30263

MADRAS ENTERPRISES LLC
79 EAST BROAD ST
NEWNAN GA 30263

MANGUM CLYDE K & HARRIET S
20 SALBIDE AVE

MANSOUR ELLIS A & JOHN CHARLES
& SARA MELINDA MANSOUR/7 MISSION
NEWNAN GA 30263

MARCHMAN JORDAN TODD & MAC
17 SALBIDE AVE
NEWNAN GA 30263

MARTIN CHRISTOPHER T
18 GINGER GOLD DR
NEWNAN GA 30265

MATTHEWS MARK WILLIAM & SCOTT AL
166-B JEFFERSON ST
NEWNAN GA 30263

ROBERT A & LUCILLE MATTI
1464 JD WALTON RD
NEWNAN GA 30263

MC CALLA JAMES R JR
P O BOX 1705
NEWNAN GA 30264

MC ELROY DARRELL LYNN
139 BETHLEHEM CHURCH RD
MORELAND GA 30259

MC INTOSH LODGE #735
C/O CLAUDE G COOPER

MC KOY HERBERT A JR & ROS, MC KOY
3503 PACES FERRY CIR
SMYRNA GA 30080

MECCA DEVELOPERS INC
27 EAST BROAD ST
NEWNAN GA 30263

MOST PROPERTIES LLC
44 EAST WASHINGTON ST
NEWNAN GA 30263

MOTEN DANIEL C ESTATE & DERETHER
111 SAVANNAH ST
NEWNAN GA 30263

MOTEN DERETHER
111 SAVANNAH ST
NEWNAN GA 30263

MR MADISON STREET LLC
SUITE 6-308/11000 PEACHTREE
IND BLVD
SUWANEE GA 30024

NBA SPECIAL PROPERTIES LLC
P O BOX 632
NEWNAN GA 30264

NEELY BONNIE
19 REDLEVEL WALK
NEWNAN GA 30265

NEWNAN COWETA HISTORICAL, SOCIET
PO BOX 1001
NEWNAN GA 30264

NEWNAN PRESBYTERIAN CHURCH
P O DRAWER 1038
NEWNAN GA 30264

NEWNAN PRESBYTERIAN CHURCH
PO BOX 1107
NEWNAN GA 30264

OLMSTEAD JIMMIE
15 EAST BROAD ST
NEWNAN GA 30263

OZMORE J WILLIAM
1 DOGWOOD RD
NEWNAN GA 30263

OZMORE J WILLIAM
1 DOGWOOD RD
NEWNAN GA 30263

OZMORE J WILLIAM
1 DOGWOOD RD
NEWNAN GA 30263

PARKS MARTHA ANN
7 DOGWOOD RD
NEWNAN GA 30263

PERRY STREET PARTNERS LLC 15 PERRY ST NEWNAN GA 30263	PREFCO FIVE LIMITED PARTNERSHIP P O BOX 2609 CARLSBAD CA 92018	PROPCO JEFFERSON LLC 4514 CHAMBLEE DUNWOODY RD ATLANTA GA 30338
RANSBY ZORA W ESTATE, C/O SHAHLA 24 SALBIDE AVE NEWNAN GA 30263	RAYBURN JOHN B 3 E BROAD ST NEWNAN GA 30263	RAYBURN JOHN B 3E BROAD ST NEWNAN GA 30263
RENDER MATELINE 8 THOMPSON ST NEWNAN GA 30263	RUSH TIMOTHY SCOTT 31 TANGLEWOOD RD NEWNAN GA 30263	RYMATT PROPERTIES LLC 47 EDGEWOOD VISTA NEWNAN GA 30265
SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220	SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220	SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220
SEARS C BRADFORD JR & WALTER S H, PO BOX 1177 NEWNAN GA 30264	SEMIPRO INVESTOR LLC 14 JACKSON ST NEWNAN GA 30263	SEWELL GRACE DAVIS 0017 WINFIELD DR NEWNAN GA 30263
SEWELL JOHN W JR 0034 SAVANNAH ST NEWNAN GA 30263	SHEPARD J NEAL JR 94 BOY SCOUT RD NEWNAN GA 30263	SMITH CHRIS M & COURTNEY N SMITH 72 EAST BROAD ST NEWNAN GA 30263
SMITH DARRELL & ROD RICK COOK &, 36 SAVANNAH ST NEWNAN GA 30263	STATHAM THOMAS 3149 S HWY 27 CARROLLTON GA 30117	STEWARD MORRIS P & GEORGE MELVLL 101 BILL HART RD NEWNAN GA 30265
STOTTLAR CALVIN R 115 HEARTHSTONE DR NEWNAN GA 30263	THOMPSON & WALLIN LLC 5 EAST BROAD ST NEWNAN GA 30263	U S OF AMERICA POST OFFIC
VILLEGAS JASON C 983 WILEY BRIDGE RD WOODSTOCK GA 3018	WARD GRAYLIN C & VICTOR BUTLER 27 EAST BROAD ST NEWNAN GA 30263	WARD GRAYLIN C 27 EAST BROAD ST NEWNAN GA 30263
WHITE ROY 14 SALBIDE AVE NEWNAN GA 30263	WILSON SEAN P & JESSICA PRYOR 7 SALBIDE AVE NEWNAN GA 30263	YOUNG LESLIE B 79 EAST BROAD ST NEWNAN GA 30263
ZACKERY GLORIA 3 LOGWOOD LN NEWNAN GA 30265	FIRST UNION NATIONAL BANK C/O THOMAS REUTERS	ATLANTA WEST POINT RAILROAD

PROPERTY OWNERS WITHIN 205' OF TRACT 2

ALLEN JEFFREY DEAN
76 EAST BROAD ST
NEWNAN GA 30263

BEAVERS BROTHERS LLC
32 E WASHINGTON ST
NEWNAN GA 30263

BROAD STREET FORUM INC
4000 TOWER RD
LOUISVILLE KY 40219

BROAD STREET FORUM INC
STE 141 3500 HWY 34 E
SHARPSBURG GA 30277

BRODERICK JOHN W & MAUREE
70 EAST BRD ST
NEWNAN GA 30263

CHAPMAN WILLIAM KEITH & LYNN I
71 E BROAD ST
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA
25 LAGRANGE ST
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA
25 LAGRANGE ST
NEWNAN GA 30263

GOODSON JENNIFER & BRIAN
78 E BROAD ST
NEWNAN GA 30263

HEADLEY WILLIAM V
PO BOX 719 144 E WASHINGTON ST
NEWNAN GA 30264

LANDRUM LAVANN P & CHARLES, LAURIE
0075 EAST BRD ST
NEWNAN GA 30263

LOVEJOY MEMORIAL UNITED MST
CHURCH
58 E WASHINGTON ST
NEWNAN GA 30263

MC INTOSH LODGE #735
C/O CLAUDE G COOPER

NEWNAN COWETA HISTORICAL SOCIETY
PO BOX 1001
NEWNAN, GA 30264

RENDER MATTLINE
8 THOMPSON ST
NEWNAN GA 30263

MCINTOSH LODGE #735
50 E WASHINGTON ST
NEWNAN GA 30263

SMITH CHRIS M & COURTNEY N
72 EAST BROAD ST
NEWNAN GA 30263

YOUNG LESLIE B
79 EAST BROAD ST
NEWNAN GA 30263

ATLANTA WEST POINT RAILROAD

TAB 3

Legal Description of the Property

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

BK01995PG312

FILED IN OFFICE
CLERK OF
SUPERIOR/JUVENILE
COURT

2002 SEP 27 AM 11:15

CINDY G. BROWN, CLERK
COWETA COUNTY, GA

Rec'd Estate Transfer Tax ✓
Paid \$ 1740.00
Date 9-27-02

Cindy G. Brown

Clerk of Superior Court, Coweta Co., Ga.

Return to:
Stites & Harbison
3350 Riverwood Parkway, Suite 1700
Atlanta, Georgia 30339
Our File No. CA029.0CA31

STATE OF OKLAHOMA

COUNTY OF TULSA

LIMITED WARRANTY DEED

THIS INDENTURE is made this 25 day of September, 2002, by and between
✓ MATRIX STEEL CONTRACTORS, INC., successor by name change to BROWN STEEL
CONTRACTORS, INC., a Georgia corporation (hereinafter referred to as "Grantor"), and
BROAD STREET FORUM, INC., a Georgia corporation (hereinafter referred to as "Grantee").

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten and No/100 Dollars (\$10.00) and
other valuable consideration, in hand paid at and before the sealing and delivery of these
presents, the receipt and sufficiency whereof is hereby acknowledged, Grantor has granted,
bargained, sold, conveyed, and confirmed and by these presents does hereby grant, bargain, sell,
convey, and confirm unto Grantee, and the successors and assigns of Grantee,

All that tract or parcel of land, situate, lying and being in the City of Newnan, Coweta
County, Georgia, and being more particularly described in Exhibit "A" attached hereto
and incorporated herein by reference.

THIS CONVEYANCE IS MADE SUBJECT TO ALL EASEMENTS, RIGHTS-OF-
WAY AND RESTRICTIONS OF RECORD, AND SPECIFICALLY THOSE PERMITTED
ENCUMBRANCES AS SET FORTH ON EXHIBIT "B" ATTACHED HERETO AND MADE
A PART HEREOF.

BK01995PG313

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members, and appurtenances thereof, to the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee, and the successors and assigns of Grantee, forever IN FEE SIMPLE.

GRANTOR HEREBY WARRANTS and will forever defend all right, title and interest in and to the above-described property unto Grantee and the successors and assigns of Grantee against the lawful claims of all persons claiming by, through or under Grantor.

IN WITNESS WHEREOF, Grantor has executed this document under seal on the day and year first above written.

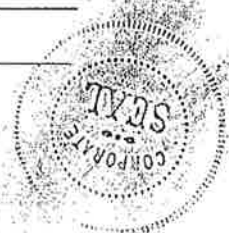
GRANTOR:

MATRIX STEEL CONTRACTORS, INC.,
successor by name change to BROWN STEEL
CONTRACTORS, INC., a Georgia corporation

By: [Signature]

Title: ASST. SECRETARY

[CORPORATE SEAL]



Signed, sealed and delivered in the presence of:

[Signature]
Unofficial Witness

[Signature]
Notary Public
My Commission Expires:

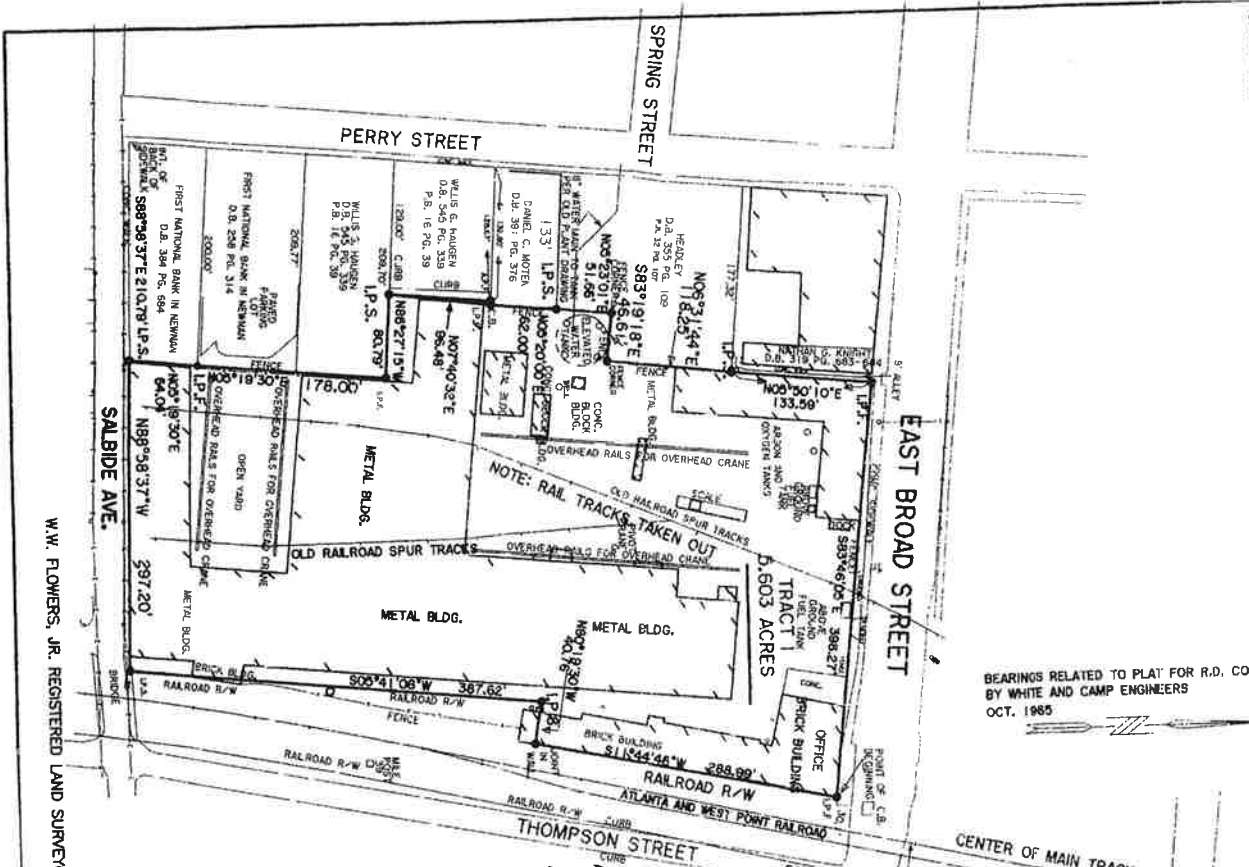
Nita Large
Commission No. 02007703
Rogers County, Oklahoma
My Commission Expires May 1, 2006

[Notarial Seal]

THIS MAP OR PLAN HAS BEEN CALCULATED FROM THE DATA SUBMITTED BY THE SURVEYOR FOR THE ACCURATE REPRESENTATION OF THE FOOT COUNTERS, BEARINGS AND DISTANCES OF ALL LOTS AND TRACTS AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.

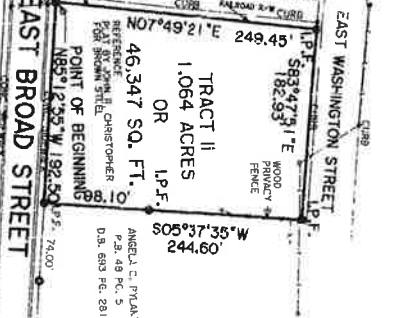
I HAVE THIS DAY EXAMINED THE ORIGINAL MAP AND FOUND THAT THE SAME IS ACCURATE AND CORRECT IN ALL RESPECTS AND IS BEING DESIGNATED AS A MAP AND IS BEING RECORDED AS SUCH IN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB.

BEARINGS RELATED TO PLAT FOR R.D. COLE BY WHITE AND CAMP ENGINEERS OCT. 1985



BEARINGS RELATED TO PLAT FOR R.D. COLE BY WHITE AND CAMP ENGINEERS OCT. 1985

LEGEND:
 I.P.S. - IRON PIN SET
 R.P.S. - IRON PIN FOUND
 R.W. - RIGHT OF WAY
 C.M. - CONCRETE MASONRY FOUND
 S.L. - SPLITTING LINE



TRACT II

LEGAL DESCRIPTION
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN LAND LOT 25 LAND DISTRICT 5 OF COWETA COUNTY, GEORGIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
 BEGINNING AT AN IRON PIN SET AT THE INTERSECTION OF THE NORTH RIGHT OF WAY OF EAST BROAD STREET AND THE EAST RIGHT OF WAY OF THE ATLANTA AND WEST POINT RAILROAD THENCE GO N 07°49'21" E FOR 249.45' ALONG THE EAST RIGHT OF SAID RAILROAD TO AN IRON PIN FOUND AT THE SOUTH RIGHT OF WAY OF EAST WASHINGTON STREET; THENCE GO S 83°47'21" E FOR 182.53' ALONG THE SOUTH RIGHT OF WAY OF EAST WASHINGTON STREET TO AN IRON PIN FOUND; THENCE GO S 09°27'35" W FOR 244.60' TO AN IRON PIN FOUND AT THE NORTH R/W OF EAST BROAD; THENCE GO ALONG THE NORTH RIGHT OF WAY OF EAST BROAD STREET N 85°12'55" W FOR 192.50' AND THE POINT OF BEGINNING.

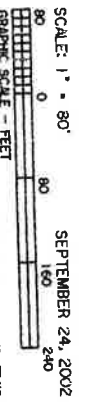
TRACT II CONTAINING 1.064 ACRES

TRACT I

LEGAL DESCRIPTION
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN LAND LOT 25 LAND DISTRICT 5 OF COWETA COUNTY, GEORGIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
 BEGINNING AT AN IRON PIN FOUND AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY OF EAST BROAD AND THE WEST RIGHT OF WAY OF THE ATLANTA AND WEST POINT RAILROAD AND FROM SAID POINT OF BEGINNING GO S 11°44'46" W FOR 288.99' ALONG SAID RAILROAD RIGHT OF WAY TO A JOINT IN WALL OF BUILDING THENCE GO N 80°19'30" W FOR 40.76' TO AN IRON PIN SET; THENCE CONTINUING ALONG SAID RAILROAD R/W S 05°41'08" W FOR 387.62' TO AN IRON PIN SET AT THE NORTH RIGHT OF WAY OF SALBIDE AVENUE; THENCE GO N 88°58'57" W FOR 297.20' ALONG THE NORTH RIGHT OF WAY OF SALBIDE AVE. TO AN IRON PIN SET; THENCE LEAVING SAID RIGHT OF WAY GO N 05°19'30" E FOR 178.00' TO AN IRON PIN FOUND; THENCE GO N 85°27'15" W FOR 80.79' TO AN IRON PIN SET; THENCE GO N 07°40'32" E FOR 96.48' TO AN IRON PIN FOUND; THENCE GO N 05°20'00" E FOR 62.00' TO AN IRON PIN SET; THENCE GO N 05°23'01" E FOR 51.66' TO A FENCE CORNER; THENCE GO S 83°19'18" E FOR 46.61' TO A FENCE CORNER; THENCE GO N 06°31'44" E FOR 118.25' TO AN IRON PIN FOUND AT GO N 05°50'10" E FOR 133.59' TO AN IRON PIN FOUND AT THE SOUTH RIGHT OF WAY OF EAST BROAD STREET; THENCE GO S 83°46'03" E ALONG THE SOUTH RIGHT OF WAY OF EAST BROAD STREET FOR 398.27' TO THE POINT OF BEGINNING.

TRACT I CONTAINING 3.603 ACRES

ALTA/ACSM LAND TITLE SURVEY
BROAD STREET FORUM, INC.
 LOCATED IN THE CITY OF NEWMAN
 LAND LOT 25 LAND DISTRICT 5
 COWETA COUNTY, GEORGIA



THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THIS SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS "JOINTLY" ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1992, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 8, AND 10 OF TABLE A THEREOF, AND PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) AN URBAN SURVEY.

DATE: 09/24/02

REGISTRATION NO. 1975



FAX 254-1455

W.W. FLOWERS, JR., REGISTERED LAND SURVEYOR NEWMAN, GA. 770-253-3388

BK 01995 PG 314

EXHIBIT "A"

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

BK02106PG253

EXHIBIT "A"

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

BK01995PG315

EXHIBIT "B"

1. State and county property taxes for calendar year 2002 and subsequent years thereafter, not yet due and payable.
2. Those matters of survey as shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc., by W.W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002.

FILED IN OFFICE
CLERK OF
SUPERIOR/JUVENILE
COURT BK02106PG250

2003 FEB -7 PM 12:42

CINDY B. BROWN, CLERK
COWETA COUNTY, GA

Return to:
Stites & Harbison
3350 Riverwood Parkway, Suite 1700
Atlanta, Georgia 30339
Our File No. CA029.000CA

Cross Reference to:
Deed Book 1528, Page 600
Coweta County, Georgia Records

**MEMORANDUM REGARDING
TERMINATION OF FACILITIES USE AGREEMENT
AND ESTABLISHMENT OF NEW FACILITIES USE AGREEMENT**

THIS MEMORANDUM is hereby entered into as of the 23rd day of January, 2003, by and between BROAD STREET FORUM, INC., a Georgia corporation ("BSF") and CALDWELL TANKS ALLIANCE, LLC, a Georgia limited liability company ("Caldwell") for the purpose of establishing for the record certain actions that have taken place between the parties relative to the real property herein referenced.

RECITALS:

- A. BSF is the fee simple owner of the property identified as 57 East Broad Street, Newnan, Coweta County, Georgia (the "Property"), such Property being more fully identified in Exhibit "A" attached hereto and incorporated herein by reference.
- B. BSF acquired the Property from Matrix Steel Contractors, Inc., successor by name change to Brown Steel Contractors, Inc. by Limited Warranty Deed dated September 25, 2002, recorded September 27, 2002 in Deed Book 1995, Page 312, Coweta County, Georgia Records.
- C. BSF became the purchaser of the Property by virtue of an Assignment Agreement dated August 27, 2002, from Caldwell, as Assignor, to BSF, as Assignee, whereby Caldwell assigned to BSF its right to purchase the Property under and pursuant to an option to purchase as specifically set forth in that certain Facilities Use and Purchase Option Agreement dated August 31, 1999 between Brown Steel Contractors, Inc. and Caldwell, which agreement was recorded in Deed Book 1528, Page 600, Coweta County, Georgia Records (hereinafter referred to as the "Facilities Use Agreement").

BK02106PG251

D. Section 3(c) of the Facilities Use Agreement specifically stated that said Agreement would terminate in its entirety, without further action by either party, immediately upon the purchase by Caldwell (or its designee) of the Property from Brown Steel Contractors, Inc. BSF was the designee of Caldwell by virtue of the above-referenced Assignment Agreement.

NOW THEREFOR, in consideration of the premises, Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is herein acknowledged, BSF and Caldwell herein agree as follows:

1. The parties herein acknowledge, stipulate and agree that the above-referenced Facilities Use Agreement, by virtue of its self-operating termination provision (Section 3(c)) is herewith terminated in its entirety and is no longer valid and of any force or effect.
2. The parties herein acknowledge and state that a new Facilities Use Agreement was entered into between BSF and Caldwell dated September 25, 2002, which Agreement reflects that Caldwell is continuing to occupy and use the Property, but such use and occupancy is in accordance with the new Facilities Use Agreement with BSF.
3. Third parties are herewith on notice that Caldwell is occupying the Property pursuant to said new Facilities Use Agreement, a copy of which may be obtained from either BSF or Caldwell.

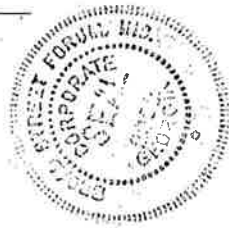
IN WITNESS WHEREOF, the undersigned parties have hereunto entered into this Memorandum, the day and year first above written.

BROAD STREET FORUM, INC.,
a Georgia corporation

By: *[Signature]*

Title: Vice President

[CORPORATE SEAL]



Signed, sealed and delivered in the presence of:

[Signature]
Unofficial Witness

[Signature]
Notary Public

My Commission Expires:

July 29, 2006
[Notary Seal]

BK02106PG252

CALDWELL TANKS ALLIANCE, LLC,
a Georgia limited liability company

By: B. J. J. J.

Title: Treasurer

Signed, sealed and delivered in the
presence of:

Daniel R. J. J.
Unofficial Witness

[Signature]
Notary Public

My Commission Expires:

July 29, 2006
[Notary Seal]

TAB 4

Certified Plat

TAB 5

Preferred Conditions



City of Newnan, Georgia
Attachment A
Proffered Conditions

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.
(Please refer to Article 10 of the Zoning Ordinance for complete details.)


Please list any written proffered conditions below:

The dedication of the easement for the LINC as outlined on the submitted plans

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:

Please see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted with the application.

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.


Signature of Applicant

KURT ALEXANDER
Type or Print Name and Title

Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.
Type or Print Name and Title

 4/24/19
Signature of Notary Public Date

(Affix Raised Seal Here)





City of Newnan, Georgia
Attachment A
Proffered Conditions

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.
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Please list any written proffered conditions below:

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Please see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted with the application.

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant

Melissa D. Griffis

Signature of Applicant's Representative

KURT ALEXANDER

Type or Print Name and Title

MELISSA D. GRIFFIS, ESQ.

Type or Print Name and Title

Karen Rebeck 11-25-19
Signature of Notary Public Date



(Affix Raised Seal Here)

TAB 6

**Disclosure of Campaign Contributions
And Gifts**



City of Newnan, Georgia
Attachment B

Disclosure of Campaign Contributions & Gifts

Application filed on April 25, 2019, for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

6.667 +/- acres on East Broad Street

The undersigned below, making application for Planning Commission action, has complied with the Official Code of Georgia Section 36-67A-1, et.seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

All individuals, business entities, or other organizations' having a property or other interest in said property subject of this application are as follows:

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission? Yes No

If YES, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

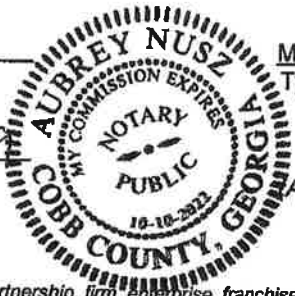
[Signature]
Signature of Applicant

KURT ALEXANDER
Type or Print Name and Title

Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.
Type or Print Name and Title

[Signature] 4/24/19
Signature of Notary Public Date



Affix Raised Seal Here)

Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or casual representative, church, foundation, club, charitable organization, or educational organization.



**City of Newnan, Georgia
Attachment B**

Disclosure of Campaign Contributions & Gifts

Application filed on April 25, 2019 for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

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Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission? Yes No

If YES, please complete the following section (attach additional sheets if necessary):

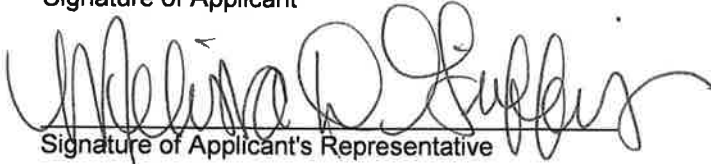
Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant

KURT ALEXANDER

Type or Print Name and Title


Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.

Type or Print Name and Title

Karen Rebeor 4-25-19

Signature of Notary Public

Date



Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or business representative, church, foundation, club, charitable organization, or educational organization.

TAB 7

Property Owner's Authorization



City of Newnan, Georgia
Attachment C
Property Owner's Authorization

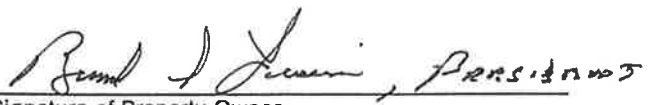
The undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a rezoning of the property.

Name of Property Owner BROAD STREET FORUM, INC.

Telephone Number 502-548-0272

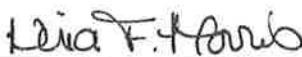
Address of Subject Property 57 East Broad Street and lot on East Broad Street, Newnan, GA

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Coweta County, Georgia.


Signature of Property Owner

Personally appeared before me

who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.


Notary Public

4/25/2019
Date

(Affix Raised Seal Here)



TAB 8

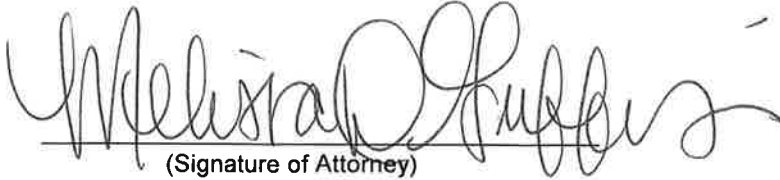
Authorization of Attorney



City of Newnan, Georgia
Attachment D
Attorney's Authorization

NOTE: *If an attorney-at-law has prepared this application, please fill out the information below:*

I swear as an attorney-at-law, I have been authorized by the owner(s) to file the attached application for a rezoning of property.


(Signature of Attorney)

Name of Attorney Melissa D. Griffis, Esq.

Address 32 South Court Square

Newnan, GA 30263

Telephone (770) 253-3282

Date April 25, 2019

TAB 9

**Community Impact Study
(To be submitted separately)**

TAB 10

Filing Fee

(\$661.55 to the City of Newnan)

TAB 11

Rezoning Checklist



City of Newnan, Georgia
Attachment E
Rezoning Checklist

The following is a checklist of information required for the submittal of a rezoning application. The Planning & Zoning Department will not accept an incomplete application.

- Completed application form
- Letter of intent
- Names and addresses of all owners of all property within 250 feet of the subject property
- Legal description of property
- Certified plat
- Completed Attachment A — Proffered Conditions (if applicable)
- Completed Attachment B — Disclosure of Campaign Contributions & Gifts (if applicable)
- Completed Attachment C — Property Owner's Authorization (if applicable)
- Completed Attachment D — Attorney's Authorization (if applicable)
- Community Impact Study (if applicable)
- Filing Fee in the form of a check payable to the **City of Newnan**

Note: Please attach this form to the filing application.

THE DISTRICT at NEWNAN

City of Newnan, Coweta County, Georgia

DEVELOPMENT SUMMARY REPORT

DEVELOPER:



Contact: Kurt Alexander
678-244-1544
7100 Peachtree Dunwoody Rd., NE
Atlanta, GA 30328

PROJECT TEAM: STUDIO ARCHITECTS, Inc

Architecture
Contact: Greg Clever
770-212-2300
1000 Marietta St., NW
Suite 244
Atlanta, GA 30318

Eberly & Associates

Civil Engineer
Contact: Michael Wright
678-287-4733
1852 Century Place
Suite 202
Atlanta, GA 30345

Land Design and Consulting

Landscape Architecture
Contact: Michael Streger
678-503-0390



JUNE 4, 2019



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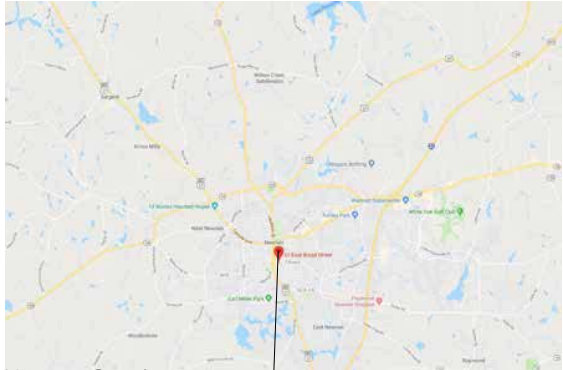


I. PROJECT NARRATIVE

LOCATION



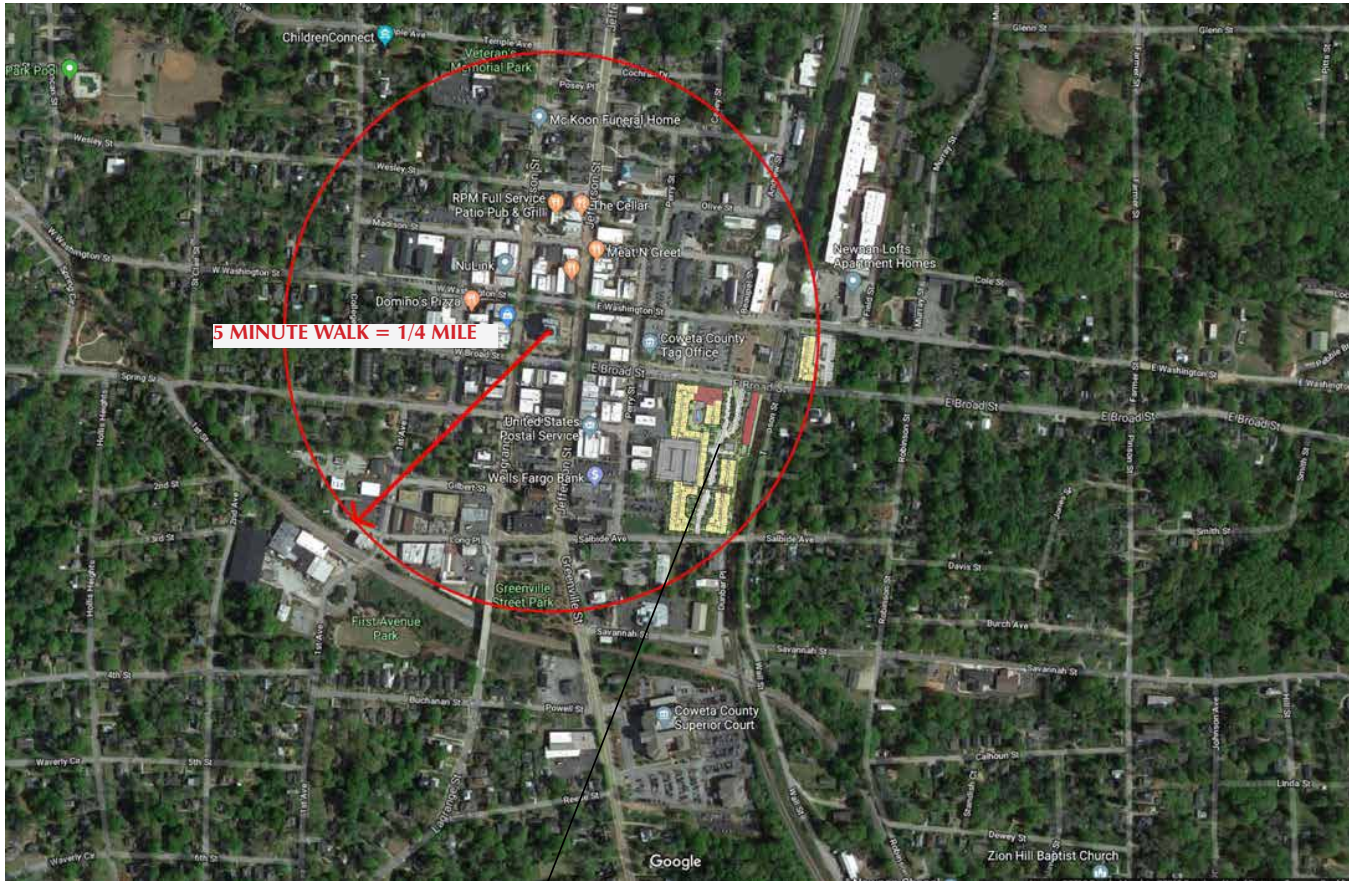
Proposed Development Location



Newnan, Georgia

Proposed Development Location

Newnan, Coweta County, Georgia



Proposed Development

I. PROJECT NARRATIVE

CONTEXT

The Village in Newnan is a 6.7 acre mixed-use development located on the original R.D. Cole Manufacturing site, now referred to as the Caldwell Tanks Site and a 1 acres parcel bounded by East Broad Street, East Washington Street and the Atlanta and West Point Railroad right of way.

The 2014 Newnan Livable Centers Initiative Final Report established long term goals for preservation and redevelopment of the property “as a mix of land uses that would capture a large portion of the area’s longer term retail and residential demands. A mixed use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24 hour life and spending power, creating more of a critical mass of new residents in close proximity”.

The development proposal will renovate and reuse the late 1800’s office building and the attached 3 story warehouse, as well as the construction of 348 luxury apartment homes organized around a new street between E Broad Street and Salbide Avenue, and a parking deck. The plan proposes commercial frontage on East Broad Street, which accommodate the community leasing and amenity functions, to close the gap between existing businesses to the east of the property and the Caldwell Office building.

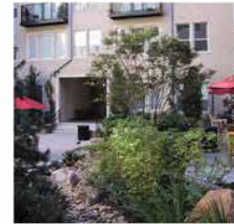
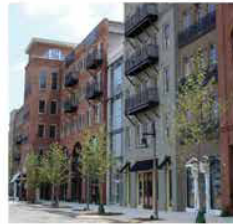
The proposed community is within a 5 minute walk to the Court House Square, and will make a significant contribution to the goals of the LCI by adding more spending power and creating a more critical mass of new residents in close proximity to the vibrant business district.

Building typology consists of the adaptive reuse of historic structures, three and four story residential buildings, commercial frontage on East Broad Street with residential above. Parking is achieved in a multi-level deck, surface and individual garage spaces.

URBAN DESIGN + LANDSCAPE

DESIGN PRINCIPLES

Illustrated and described below are the five design principles that guided the master planning process.



CONNECTIVITY

- Based on existing grid network, enhance street connectivity to reduce congestion and create a coherent system
- Pedestrian network is extensive and welcoming
- Bicycle use encouraged by safe street designs and amenities
- Regional and local transit are encouraged to reduce auto use

OPEN SPACE

- Well developed system of outdoor spaces encourages pedestrian activities
- Central park for recreation and social gathering
- Semi-public courtyards are provided for residential recreation and natural resource preservation
- Buildings and spaces are well-linked for a coherent and holistic approach

COMPACTNESS

- Mixed-use and flex building fabric is the glue which holds the project together
- Adjacency of services and housing to de-emphasize automobile usage
- "Park-once" facilities reduce multiple auto trips

DIVERSITY

- Quality architectural fabric reflects a range of regional traditions
- Variety of housing types and income levels
- Public spaces, variety of uses and activities offer vitality and a well-developed public realm
- Mixture of housing and retail to create economic vitality and a true residential community

SUSTAINABILITY

- Stormwater and irrigation systems to capture and reuse water
- Drought-resistant native plants integrated to support outdoor networks
- Close access to regional transit facilities promotes multi-modal functions
- Bicycle and pedestrian systems connect all land uses



This is for conceptual purposes only; not an actual development proposal
 Figure 7h: Caldwell Tanks Site
 Concept Plan C

II. MASTER PLAN

COMMUNITY VISION

An established series of design principles provide a framework of goals that the redevelopment plan seeks to fulfill. In addition, conceptual design charrettes for the site provide substantial input to the community's vision for the property. The Design Team determined that the LCI Concept C met many of the goals established in the Urban Design Framework and based the development plan on the concept.

CONNECTIVITY

The plan builds and strengthens an urban block form by connecting East Broad to Salbide Avenue. The new street creates a pedestrian friendly streetscape that encourages walkability by providing a safe, welcoming design that is anchored with a District Green on the south end and a District Square on the north end. The proposal includes accommodating a future LINC connection between E. Washington and E. Broad Streets.

OPEN SPACE

The plan creates an urban green (District Green) on East Broad Street, across from the historic Train Station that creates an inviting front door to the redevelopment and encourages public and pedestrian interaction for residential and commercial uses. The ability for pedestrians to feel comfortable walking on these frontages encourages and enhances commercial viability for businesses. A smaller Square on Salbide Avenue provides a similar opportunity for residents and pedestrians to socialize in a smaller, more intimate setting, within the context of the street. All new and existing street frontage will be upgraded to Newnan sidewalk standards and provide additional gathering and public art opportunities.

COMPACTNESS

The mixed use aspects of this community enhance pedestrian activity within, as well as to promote walkability from the development to/from the Courthouse. Since the new residents will be less than a 5 minute walk to the courthouse, hundreds of new households will help energize core business and civic events, with minimal need for additional vehicular accommodation.

DIVERSITY

The proposed architectural vernacular is reflective of Newnan's heritage, but makes no attempts at historic reproduction. Rather, design is based on appropriate scale, massing and articulation of elements that creates original architecture that is both reflective and timeless. A wide variety of apartment size and style ensures a diverse demographic of residents. By adding to the urban fabric and sense of place of Newnan, the proposed community provides a unique opportunity for existing residents to downsize in place or young adults to return to Newnan and stay close to their families.

SUSTAINABILITY

The current use does not provide any storm water control for water quality or flow, which will be addressed in the proposed development. The ability to use drought resistant and native plants can reduce infrastructure needs and enhance quality of life attributes such as songbirds and butterflies. A reduced reliance on automobiles and walkable neighborhood create healthful benefits to the community.

I. PROJECT NARRATIVE

PROJECT NARRATIVE

The District is a proposed Mixed-Use development comprised of adaptive reuse commercial space and residential apartment (for rent) units. Accessory uses include leasing/residential service and loading, a multi level parking deck, attached residential garages/storage, residential surface parking, leasing and associated indoor amenities (including but not limited to fitness, business office, coffee bar, dog wash, bike repair room), swimming pool, outdoor cabana, maintenance area and trash compactor. The proposed development will utilize to MXD zoning (with exceptions), DDO and the design guidelines outlined in Appendix A -Standards for Non-Residential New Construction and Rehabilitation, Article 5 - Design Review Standards and Procedures as well as all applicable codes including Newnan Amendments and IBC 2012, Appenix D, Fire Districts.

The property will be owned and operated by a single entity (the Residential Group and/or it's partners and affiliates) and no division of land by easement or legal entity (HOA) will occur.

PROJECT OVERVIEW:

Proposed Site Area: 6.7 acres

Proposed Zoning: MXD - Mixed Use Development District /
DDO - Downtown Design Overlay District

348 Residential units total

5,600 sf adaptive reuse - R.D. Cole office

13,500 sf adaptive reuse - existing warehouse

579 total parking spaces (residential: 1sp/bdrmm + 15% guest)

215 - st/1bdrmm = 215 spaces

133 - 2 bdrms = 266 spaces

guest /commerci = 98 spaces

Required Open Space: 43,562 sf (15%)

50% reduction; Sec 6-22: 21,781 sf

Areas subject to final survey.



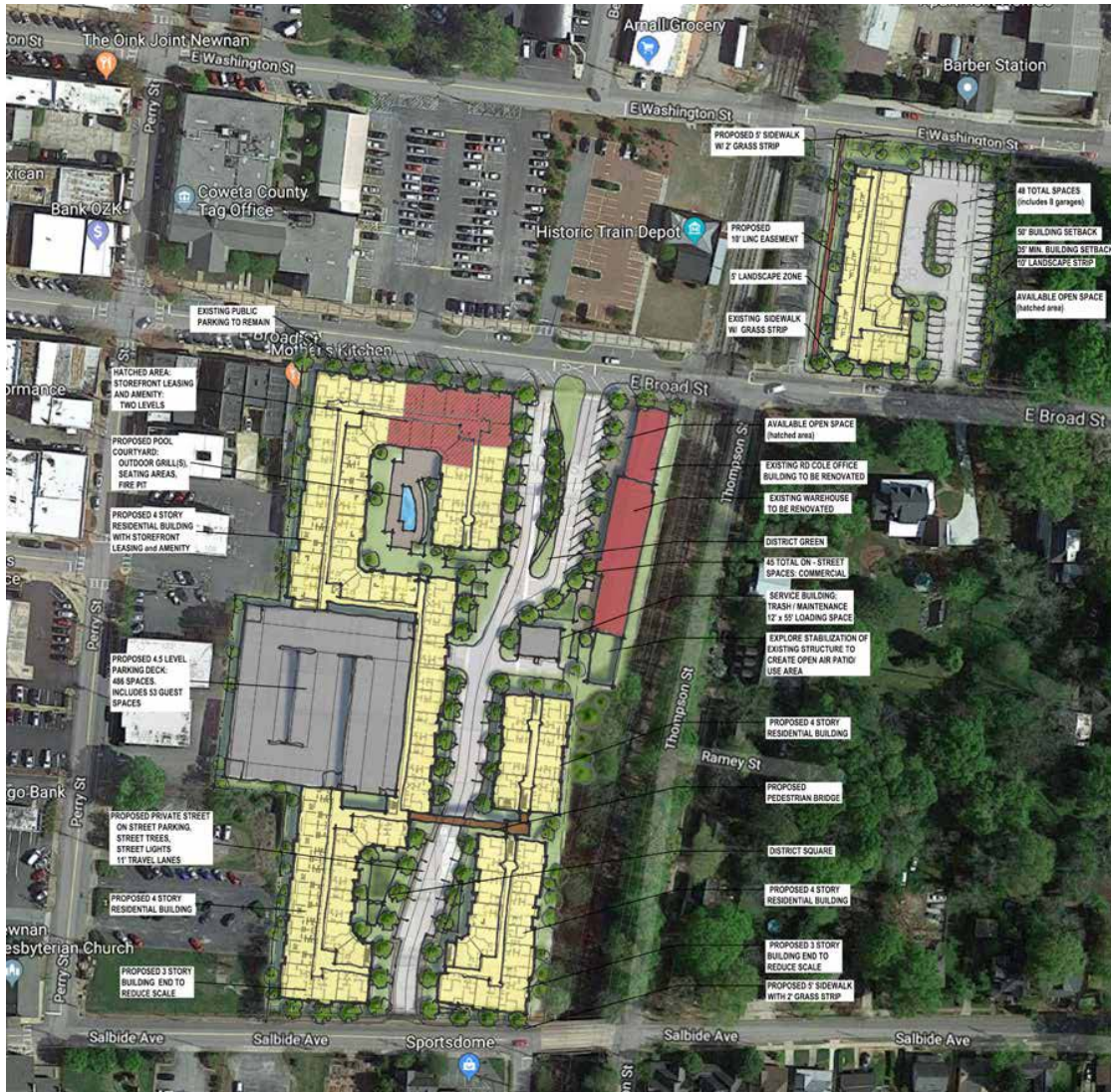
THE DISTRICT at NEWNAN

I. PROJECT NARRATIVE

REQUESTED MODIFICATIONS

Modifications are requested to fulfill the design objectives of this development as shown on the Master Concept Plan and individual plan sheets included in this report.

The District at Newnan					
Newnan, GA					
4/25/2019					
Current Zoning: CBD - Commercial Business District					
Proposed Zoning: MXD - Mixed Use Development District / DDO - Downtown Design Overlay District					
Site Area: 290,415 sf/6.667 ac					
Open Space: (15%) 43,563; 50% reduction per SEC 6-22: 21,781 sf					
Residential Construction: three and four story ; type V. Accessory use					
Commercial Construction: adaptive reuse					
Precast Parking Deck: type I, non-sprinklered, naturally ventilated					
Zoning Review Matrix					
<i>item</i>	<i>section</i>	<i>requirement</i>	<i>proposed</i>	<i>pg</i>	<i>reference/notes</i>
Tree Preservation/Landscaping	sec 5f	35' buffer	10' buffer w/ planted berm/fence		LINC easement reduces lot with



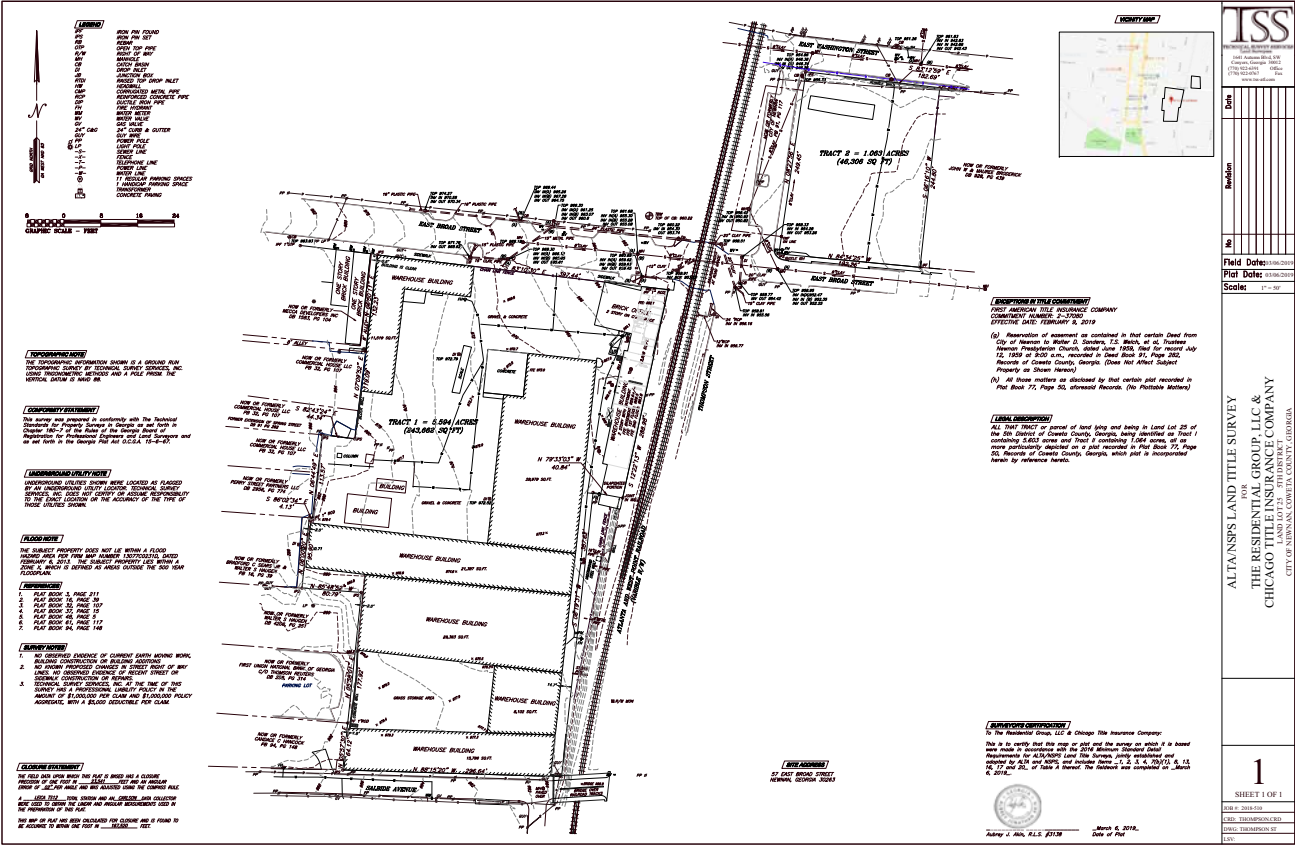
II. MASTER CONCEPT PLAN

MASTER CONCEPT PLAN

The plan shown opposite provides a general overview of the proposed community. The Master Concept Plan has been broken into component plans to make each category easier to read and identify plan elements.

II. MASTER CONCEPT PLAN

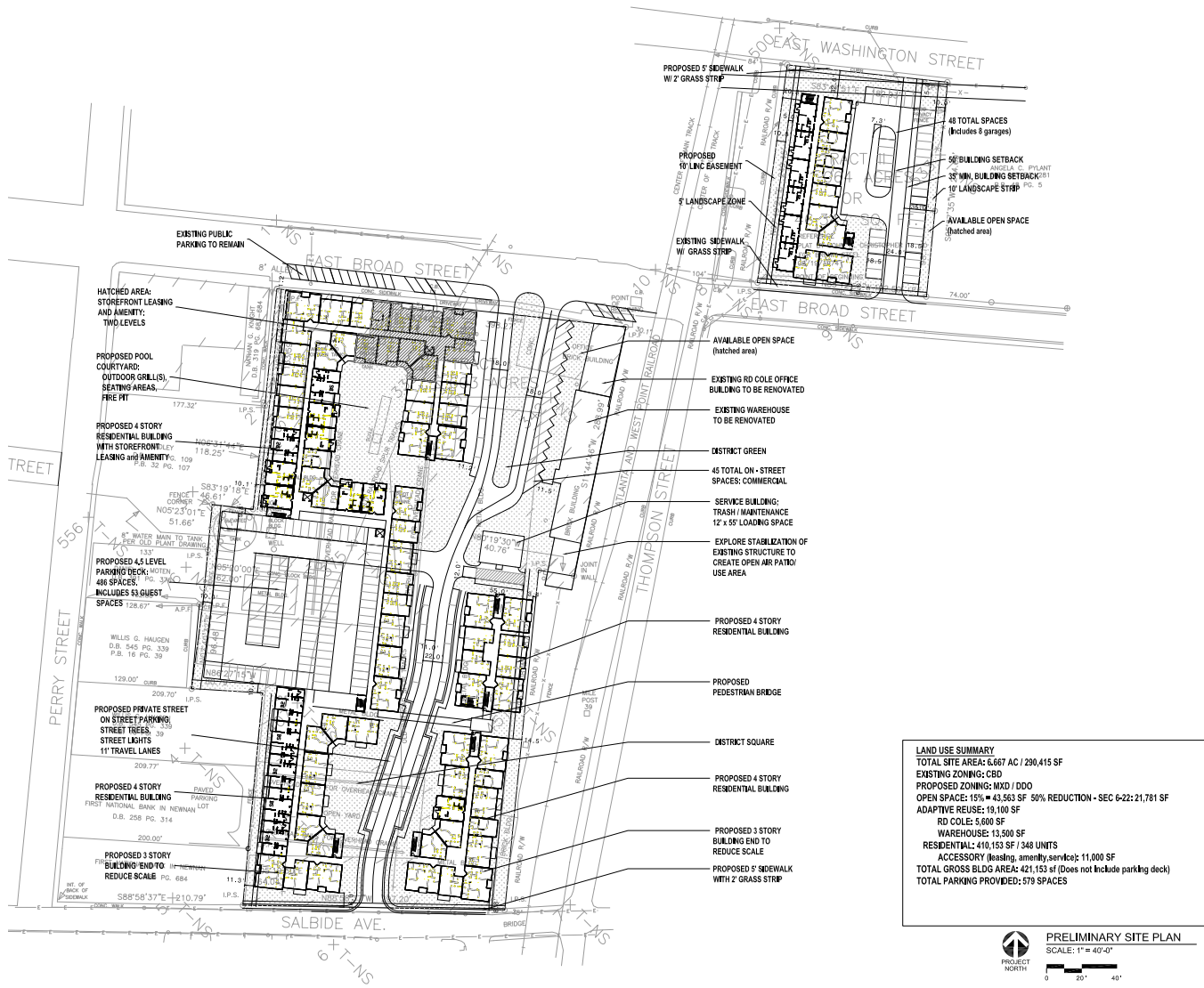
SURVEY



Legal Description
 ALL THAT TRACT or parcel of land lying and being in Land Lot 25 of the 5th District of Coweta County, Georgia, being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly depicted on a plat recorded in Plat Book 77, Page 50, Records of Coweta County, Georgia, which plat is incorporated herein by reference hereto.



THE DISTRICT at NEWNAN



II. MASTER CONCEPT PLAN

PROPOSED SITE DESIGN STANDARDS

Proposed Site Design Standards as shown on the Master Concept Plan and individual plan sheets included in this report.

Modifications are requested to fulfill the design objectives of this development as shown on the Master Concept Plan and individual plan sheets included in this report (see pg. 7 for specific modifications and pg. 11 & 12 for proposed design standards).

II. MASTER CONCEPT PLAN

PROPOSED SITE DESIGN STANDARDS

The District at Newnan					
Newnan, GA					
4/25/2019					
Current Zoning: CBD - Commercial Business District					
Proposed Zoning: MXD - Mixed Use Development District / DDO - Downtown Design Overlay District					
Site Area: 290,415 sf/6.667 ac					
Open Space: (15%) 43,563; 50% reduction per SEC 6-22: 21,781 sf					
Residential Construction: three and four story ; type V. Accessory use					
Commercial Construction: adaptive reuse					
Precast Parking Deck: type I, non-sprinklered, naturally ventilated					
Zoning Review Matrix					
item	section	requirement	proposed	pg	reference/notes
Div I	Restrictions that apply in General				
	sec 3.7 (a)(2, 3)	common recreation of 100 sf per du	tbd		brownfield reclamation; site limitations. As agreed to by the Planning and Zoning Director
	sec 3.7 (e) (3-d,e)	40% primary/60 % secondary materials	average 30%/70% over ther entire structure		design flexibility; ability to use higher % primary on select facades w/o penalty
	sec 3.7 (e) (4, table 3a)(5)	min unit sizes	maintain 800 sf minimum average		
	sec 3.7 (e) (8)	impervious surface	loft -style exemption		
Div IV	Ground Floor Residential				
	sec 3.74 (c)(1)	ground floor residential	special exception		special exception requested
	sec 3.74 (c)(5)	translucent glass/film	alternate methods		tbd
Div II	Accessory Uses and Structures				
	3.12(d)	awnings/canopies 5' max	tbd		detail provided with elevation studies for approval
	3.12(e)	balconies 6' max	tbd		detail provided with elevation studies for approval
	sec 3.12(q)(1)b	out building coverage	parking deck; as needed		footprint less than allowed; total sf exceeds allowed
Div II	Mixed Use Developments				
	sec 6.16(b)	interior streets meet City of Newnan stds	11' drive lane		traffic calming; private street
	sec 6.16(c)	sidewalk standards	to vary with conditions; meet the intent		combined use of sidewalk/tree lawn and pavement/planter beds
	sec 6.16(cd)	parking calculations by use	no parking requirement commercial use		table 7-A Minimum Off Street Parking Spaces Required by use
	sec 6-20(c)	street trees 20' OC on interior/perimeter streets	30' OC or as specified by registered Landscape Architect		20' too close fore proper branching establishment
	sec 6-21(5)	15% site area in open space per table 6-B	7.5 - 15% of site area		table 6-B appears to create requirement exceeding site requirement
	sec 6-21(5)(c)	max 50% landscaped area for open space	100% allowed for open spaces		
	sec 6-22(a)	reduction by 50% open space requirement	use this exemption		proposed LINC easement adjacency
Article 7	Parking and Loading				
	sec 7.5 table 7A	general office/commercial 1sp/250sf	no parking requirement		public parking available in close proximity
	sec 7.8(1)	parking on same lot required	min 1sp/du on same lot; remaining on separate lot		the development spans E Broad in two parcels
Div III	Loading				
	7.15 table 7-D	two - 10'x50' berths	loading from private street; no dedicated area		adaptive reuse of historic bldgs prohibits separate loading space(s)
Tree Preservation/Landscaping					
	sec 1	SDF = 16 x 6.7ac = 107.2 SDF	tbd	TPL-13	brownfield reclamation largely devoid of trees; site use may require reductionand/or off-site SDF
	sec 5 2b	8' min back curb to back curb	5' min between adjacent parking rows		LINC easement reduces lot with
	sec 5f	35' buffer	10' buffer w/ planted berm/fence		LINC easement reduces lot with

II. MASTER CONCEPT PLAN

**PROPOSED SITE
DESIGN STANDARDS**

Newnan - Landscape Requirement Matrix				
REQUIREMENTS	NOT FULFILLED	PARTIALLY FULFILLED	TREE ORDINANCE	ZONING ORDINANCE
Landscape Planting Strip Requirements				
Landscape plantings shall be provided in a Landscape Strip of at least 10' adjacent to any street right of way abutting the property and running the length of the entire property frontage.		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 2	
One tree per 35 linear feet		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 5	
Ten shrubs per 35 linear feet		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 6	
Landscape Buffer Planting Requirements				
Large canopy trees with a minimum height of 8' planted and a minimum caliper of 2" planted 31' to 50' buffer width, and one tree per 350 sq. ft. of buffer.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Small trees are required to fulfill from no less than 20% to no more than 30% of the required number of trees.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Evergreen trees are required to fulfill at least 50% of the required trees planted in buffers greater than 30'.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Evergreen shrubs, minimum of 24" in height, variety that can reach 4' to 5' within 3-5 years planted 31'-50' buffer width, and one tree per 350 sq. ft. of buffer.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Article 6 - Master Planned Developments				
Street Trees 20' OC on interior/perimeter streets		40' OC or as specified by registered Landscape Architect.		Division 2 - Sec. 6-20©

II. MASTER CONCEPT PLAN

LAND USE PLAN



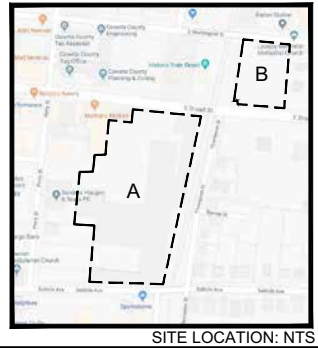
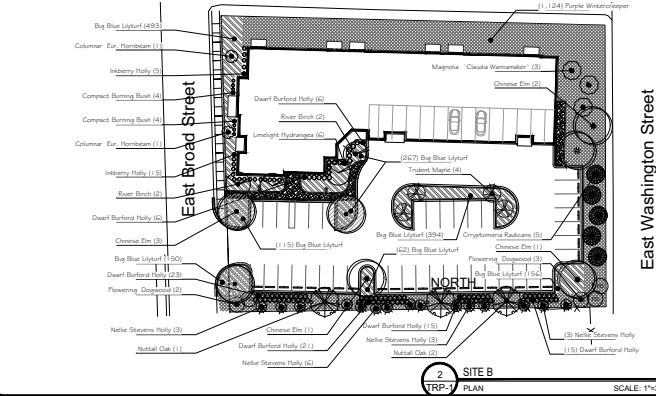
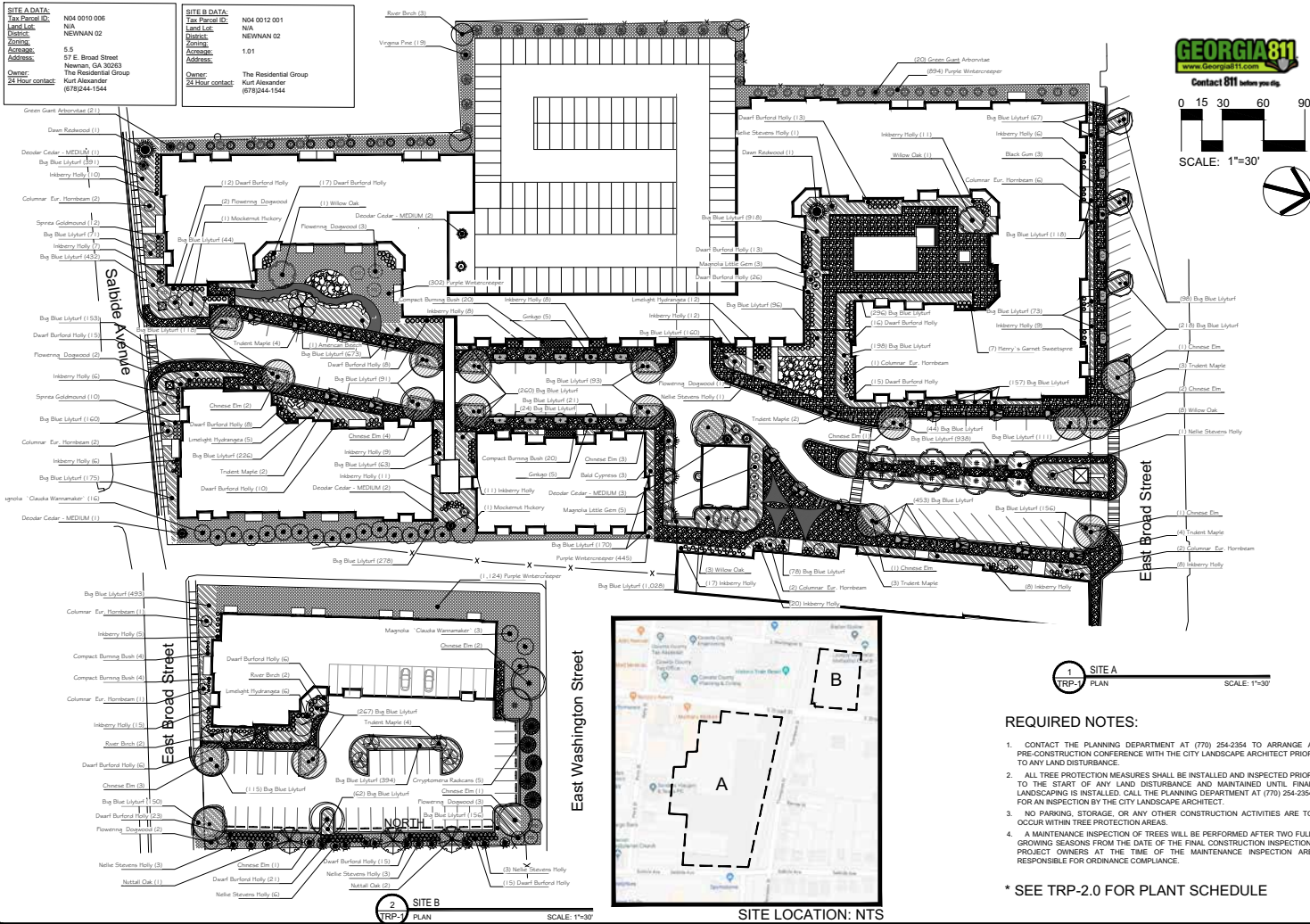
- COMMERCIAL**
RD COLE: 5,600 SF
WAREHOUSE: 13,500 SF
LEASING/AMENITY: 11,000SF
- RESIDENTIAL**
410,153 SF / 348 UNITS
- DECK/SERVICE**
486 SPACES
TRASH / RECYCLING/MAINTENANCE
- LINC EASEMENT**
25,000 SF DEDICATION
- PRIVATE STREET**
28,394 SF

The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

II. MASTER CONCEPT PLAN

LANDSCAPE PLAN

SITE A DATA:	N04 0010 006	SITE B DATA:	N04 0012 001
File Number:	N/A	File Number:	N/A
Address:	NEWMAN 02	Address:	NEWMAN 02
Zone:	S-5	Zone:	1.01
Owner:	57 E. Broad Street Newman, GA 30065 The Residential Group Kurt Alexander (878)444-1544	Owner:	The Residential Group Kurt Alexander (878)444-1544
24 Hour contact:		24 Hour contact:	



- REQUIRED NOTES:**
- CONTACT THE PLANNING DEPARTMENT AT (770) 254-2354 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.
 - ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING DEPARTMENT AT (770) 254-2354 FOR AN INSPECTION BY THE CITY LANDSCAPE ARCHITECT.
 - NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
 - A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
- * SEE TRP-2.0 FOR PLANT SCHEDULE

The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

II. MASTER CONCEPT PLAN

LANDSCAPE PLAN

PLANT SCHEDULE					
QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	
DECIDUOUS TREES					
22	Tobacco Holly / Acer buergerianum MULTISTEM	3" Cal.	B&B	10'	
7	River Birch / Betula nigra MULTI-STEM	12" HL	B&B	12' HT	
17	Columbar / Eur. Hornbeam / Cornus belulus American Hornbeam	3" Cal.	B&B	10'	
2	Mocknut Hickory / Carya alba	3" Cal.	B&B	10'	
1	American Beech / Fagus grandifolia	3" Cal.	B&B	10'	
10	Osage / Origo bialba	3" Cal.	B&B	10'	
2	Dawn Redwood / Metasequoia glyptostrobilus	3" Cal.	B&B	10'	
3	Black Gum / Nyssa sylvatica	3" Cal.	B&B	10'	
3	Nuttall Oak / Quercus nuttallii	3" Cal.	B&B	10'	
13	Willow Oak / Quercus phellos	3" Cal.	B&B	12' HT	
3	Bald Cypress / Taxodium distichum	2.5" Cal.	B&B	10'	
4	Chinese Elm / Ulmus parvifolia	4" Cal.	B&B	14 HT MIN	
EVERGREEN TREES					
9	Diolex Cedar - MEDIUM / Cedrus deodara	3" Cal.	B&B	10'	
5	Cryptomeria Radicans / Cryptomeria japonica 'Radicans'	3" Cal.	B&B	12 HT	
18	Nyctea Stovena Holly / Ilex x 'Nellie R. Stevens'	2.5" Cal.	B&B	8 ft	
19	Magnolia 'Claudia Wannamaker' / Magnolia grandiflora 'Claudia Wannamaker'	3" Cal.	B&B	12 HT	
8	Magnolia Little Gem / Magnolia grandiflora 'Little Gem'	3" Cal.	B&B	10'	
41	Virginia Pine / Pinus virginiana	3" Cal.	B&B	10'	
21	Green Giant Arborvitae / Thuja standishii x picta 'Green Giant'	2" Cal.	B&B	10'	
FLOWERING TREES					
13	Flowering Dogwood / Cornus florida	2.5" Cal.	B&B	8 ft	
SPECIMEN REPLACEMENT					
18	Chinese Elm / Ulmus parvifolia	4" Cal.	B&B	14 HT MIN	
SHRUBS					
47	Compact Burning Bush / Euconyma alatus 'Compectus'	3 gal			
23	LimeLight Hydrangea / Hydrangea paniculata 'LimeLight'™	3 gal			
239	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	3 gal			
187	Hickory Holly / Ilex glabra	3 gal			
7	Henry's Garnet Seedling / Ilex virginica 'Henry's Garnet'	3 gal			
22	Spiraea Goldmound / Spiraea japonica 'Goldmound'	3 gal			
GROUND COVERS					
2765	Purple Wintercreeper / Euonymia colorata	4" pot			
10,250	Big Blue Lilyturf / Liriodie muscari 'Big Blue'	4" pot			

REQUIRED NOTES:

- CONTACT THE PLANNING DEPARTMENT AT (770) 244-2524 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING DEPARTMENT AT (770) 244-2524 FOR AN INSPECTION BY THE CITY LANDSCAPE ARCHITECT.
- NO HAZARDOUS STORAGE OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FALL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.

TREE/SHRUB REQUIREMENTS:

SITE DATA		REQUIRED		TOTAL		TOTAL		ITEM		SIZE		NOTES	
REQUIRED	TOTAL	PER AREA	REQUIRED	PROVIDED									
Required within site area	16												
Offset within required (BOF)	307.2	2	18.4	21.0	LARGE SHADE / CANOPY TREES	4" CAL.	7	Flourish					
		6	40.2	38.0	LARGE SHADE / CANOPY TREES	4" CAL.	66	Surplus					
		33	67.0	65.0	LARGE SHADE / CANOPY TREES	2" CAL.	66	negative					
		25	100.5	106.0	SMALL UNDERSTORY / FLOWERING TREES	1.5" CAL.	7	Flourish					
		40	206.0	426.0	EVERGREEN SHRUBS	1.5" CAL.	157						
		307.2	35	100.5	100.0	DECIDUOUS SHRUBS	1.5" CAL.	157					

City	Common Name	Botanical Name	Size	Units	Total Units	Item	Size	Notes
22	Tobacco Holly	Acer buergerianum	3"	0.6	11.2			SITE ZONING N&D
7	River Birch Multi-STEM	Betula nigra	12"	0.6	6.2			ADJACENT ZONING RS
17	Columbar Eur. Hornbeam	Cornus belulus	3"	0.6	10.2			REQUIRED BUFFER TYPE C
2	Mocknut Hickory	Carya alba	3"	0.6	1.2			PRODUCT USE CATEGORY AREA 2
1	American Beech	Fagus grandifolia	3"	0.6	0.6			LENGTH OF BUFFER 247
10	Osage	Origo bialba	3"	0.6	6.2			
2	Dawn Redwood	Metasequoia glyptostrobilus	3"	0.6	1.2			
3	Black Gum	Nyssa sylvatica	3"	0.6	1.8			TYPE C BUFFER REQ.
3	Nuttall Oak	Quercus nuttallii	3"	0.6	1.8			MIN PLANT ROWS 4' OF BUFFER
13	Willow Oak	Quercus phellos	3"	0.6	7.8			MIN PLANT ROWS 4' OF BUFFER
3	Bald Cypress	Taxodium distichum	2.5"	0.6	1.8			MIN PLANT ROWS 4' OF BUFFER
4	Chinese Elm	Ulmus parvifolia	4"	0.7	3.0			
9	Diolex Cedar	Cedrus deodara	3"	0.6	5.4			
5	Cryptomeria Radicans	Cryptomeria japonica 'Radicans'	3"	0.6	3.0			
18	Nyctea Stovena Holly	Ilex x 'Nellie R. Stevens'	2.5"	0.5	9.0			
19	Magnolia 'Claudia Wannamaker'	Magnolia grandiflora 'Claudia Wannamaker'	3"	0.6	6.6			
8	Magnolia Little Gem	Magnolia grandiflora 'Little Gem'	3"	0.6	4.8			
41	Virginia Pine	Pinus virginiana	3"	0.6	11.4			
21	Green Giant Arborvitae	Thuja standishii x picta 'Green Giant'	2.5"	0.5	6.5			
13	Flowering Dogwood	Cornus florida	2.5"	0.5	6.5			
					118.8			

SPECIMEN TREES	SIZE IN INCHES	TREES NEEDED FOR REPLACEMENT AT 4"
Cal. (Arboretum)	24	6
Cal. (Arboretum)	24	6
Cal. (Arboretum)	24	6
Total Replacement Trees	18	18

* NO SITE DATA YET RECEIVED.

LANDSCAPE STRIP REQUIREMENT				
LINEAR FEET	CURB CUT	# TREES REQUIRED (1 TREE PER 30')	# SHRUBS REQUIRED (15 SHRUBS PER 30')	# SHRUBS PROVIDED
0	0	0	0	0

* LANDSCAPE STRIPS ARE TO BE DETERMINED.

GENERAL NOTES:

Landscaping Requirements: All landscape plants within parking lots shall be 100 percent bedrocked with drainage trees, except those plants that are exempt from this height at maturity, ground cover which does not require rooting and/or flowers in mulched beds.

Maintenance Requirements: Two full growing seasons after the date of the final inspection of new tree and landscape installations, the city landscape architect will again inspect all trees and landscaping on the project site. Any trees deemed to need the required tree density buffer which are dead or near death must be replaced.

At the end of the two-year landscape establishment period, the city landscape architect shall inspect the site and shall make a determination of whether or not the required trees and landscaping are healthy and have a reasonable chance of surviving to maturity. Upon each finding, the buffer shall be retained, reduced or each finding, the buffer shall not be retained and the owner of the property shall be notified to replace the unhealthy trees and landscaping or take other appropriate action as approved by the city landscape architect. Upon failure of the owner to comply with the city landscape architect's decision regarding such trees, the city shall be authorized to remove the trees and landscaping to bring the project into compliance. Final inspection shall be scheduled within ten working days' notice.

Trees, which are used to meet the tree density requirements, shall be fully maintained for an additional five years after the date of final landscape establishment inspection. It is the responsibility of the property owner to water, fertilize, and trim trees in order to ensure tree health and vigor. The property owner shall, at all times, maintain the required tree density. Failure to maintain the required tree density for any time during the life of the project shall be a violation of the article. Trees which have been used to meet the tree density requirements shall not be removed at any time without approval of the city landscape architect. Removal of such trees will be at the responsibility of the tree and site.

It shall be the duty of any person or persons owning or occupying property adjacent to the article to maintain said property in good condition so as to present a healthy, neat, and orderly appearance. Property shall be kept free from rubbish and debris. Piling to be removed and replaced with mulch and grass. Trees, which shall be planted as required as required to maintain good health and character. Turf areas shall be mowed periodically. All roadways, curbs, and sidewalks shall be edged when necessary in order to prevent encroachment from adjacent paved areas.

Irrigation Requirements: Irrigation is to be provided for landscaped areas fronting multi-family, commercial and industrial developments. Irrigation is also to be provided along all roadways for these types of developments. Irrigation systems can be beneficial in efficiently adding water to the landscape. Irrigation systems shall be designed by the city landscape architect. Irrigation system with controllers. The water demand of lawn areas is significantly greater than the water demand of most trees, shrubbery, or ground cover areas. Whenever feasible, separate based irrigation lines or other hand water demand landscape areas shall be created so that there is an separate zone or zones for these irrigating trees, shrubbery or other reduced water requirement areas. Automatically controlled irrigation systems shall be operated by an irrigation controller that is capable of watering high water requirement areas on a different schedule than those irrigating the planting beds. Low trajectory heads or low volume water distributing devices shall be used. Irrigation controllers shall be capable of irrigating grass and tree/shrub zones on different schedules.

Active Protective Barriers: Barriers shall be installed along the outer edge of and completely around the critical root zones of all specimen trees or stands of trees, or otherwise designated tree protective zones, prior to any land disturbance. Deviation from this shall be approved on an individual basis by the city landscape architect. Barriers will be a minimum four feet high, constructed of two by four inch timbers. A two inch by four inch post and a one inch by four inch rail, with the post not further than six feet apart, is recommended. Chain link fence with the same post spacing, is also acceptable. All tree protection zones should be designed as such with "tree save area" signs posted visibly on all sides of the fence or area. All tree fencing shall be maintained throughout the land disturbance and building construction, and should be removed only at construction and landscaping complete.

Construction Activities: Construction activities such as parking, material storage, concrete walrus, bamboo placement, etc., shall be arranged so as to prevent land disturbances within tree protective zones. No disturbance shall occur within the protective zone of specimen trees or stands of trees without prior approval of the city landscape architect.

DECIDUOUS / EVERGREEN TREE MIX		
TOTALS	PERCENTAGE	
Deciduous Tree	51%	50%
Evergreen Tree	49%	40%
Overall Trees	100%	100%

REQUIRED PER SF AREA	AMOUNT OF TREE / SHRUB REQ.	IN %	AMOUNT OF TREE / SHRUB PROVIDED	ITEM	SIZE	NOTES
3	300	4.9	300	LARGE SHADE / CANOPY TREES	8" HT 2" MIN	
1	300	4.9	300	SMALL TREES	8" HT 2" MIN	20-30% ALLOWED
1	300	14.8	300	EVERGREEN TREES	8" HT 2" MIN	20% MIN
1	125	69.2	NA	EVERGREEN SHRUBS	1.5" CAL.	24" HT
			24.2			

PERIPHERAL PARKING LOT REQUIREMENTS			
LINEAR FEET	CURB CUT	# TREES / SHRUBS REQUIRED (1 TREE PER 30')	# TREES / SHRUBS PROVIDED
442	24	418	6

TREE PROTECTION DETAIL:



The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

SITE DATA:	NO4 001006	SITE DATA:	NO4 0012 001
Parcel ID:	NA	Parcel ID:	NA
Address:	NEVANN 02	Address:	NEVANN 02
Zone:	5.5	Zone:	1.01
Address:	57 E. Broad Street	Address:	Kurt Alexander
Owner:	The Residential Group	Owner:	The Residential Group
24 Hour contact:	(878)244-1544	24 Hour contact:	(878)244-1544

Schematic Civil Narrative

CIVIL

1.0 GENERAL

- A. The project site is located at 57 Broad Street, Newnan, GA 30263. All of the proposed project site is located within the City of Newnan's jurisdiction. We will submit for building (LDP) permits and approvals from the City of Newnan. Site work includes the work shown and reasonably inferred from the design development drawings. Provide materials, labor, equipment and supervision required to perform the work complete.
- B. The scope of site work includes, but is not limited to the following:
 1. Construction staking and other construction engineering required to control the work.
 2. Erosion and sedimentation control construction.
 3. Temporary groundwater control.
 4. Site preparation, including stripping and undercutting unsuitable subgrade soils (if encountered), rock blasting and removal (if encountered) parking lot and building demolition, and removal from the project lands of materials not to be used for construction.
 5. Site grading, including excavation, filling, compaction, and preparation of subgrades for paving and playfields. Site grading includes cutting and filling onsite, stockpiling and hauling from stockpiles, and other work necessary to construct embankments and excavations as shown and specified.
 6. Construction and building pads and staging areas.
 7. Coordination of temporary utilities.
 8. Installation of the site drainage system complete, including building roof drain laterals.
 9. Installation of water distribution and sanitary sewer system complete, including service laterals.
 10. Construction of curb and gutter, retaining walls, playfields and tennis courts.
 11. Construction of paving.
 12. Striping and traffic control.
 13. Backfilling curbs and islands with approved soils for planting.
 14. Backfilling walls.
 15. Installation and coordination of temporary warning signs, directional signs, barricades and fences required to direct, control and protect the public throughout the construction period.
 16. Coordination of installation of light poles and conduits.

2.0 EROSION CONTROL

- A. Provide labor, material, and equipment for temporary and permanent management practices during the life of the Contract to control erosion, storm water runoff, and pollution through the use of berms, dikes, dams, sediment basins, fiber mats, netting, mulches, grasses, slope drains, temporary silt fences, and other management practices.
- B. The scope of Erosion Control includes, but is not limited to the following:
 1. Conforming to the General NPDES permit.
 2. Provide labor, material, and equipment for temporary and permanent management practices as shown on the plans, as contained in the Erosion, Sediment, and Pollution Control Plan (ESPCP), and as directed by the Owner during the life of the Contract to control erosion, storm water runoff, and pollution through the use of berms, dikes, dams, sediment basins, fiber mats, netting, mulches, grasses, slope drains, temporary silt fences, and other management practices.

3. Coordinate temporary erosion control provisions with permanent erosion control features to assure economical, effective, and continuous erosion, sedimentation, and pollution control throughout the construction and stabilization period.
4. Management practices required are not limited to the measures shown on the plans. Provide additional practices necessitated by actual conditions and methods.
5. Silt and pollution leaving the site and any effects of the release are the sole and total responsibility of the Contractor as Primary, Secondary or Tertiary Permittee or Operator.
6. Provide Subcontractors with a copy of the ES & PC Plan. Post notices requiring Subcontractors to review and comply with the ES & PC Plan.
- C. The plans will be prepared in three (3) phases, Initial, Intermediate and Final Erosion Control Phase:
 1. Initial phase will include the installation of a sediment pond, perimeter Silt fence, Construction Entrance, Truck washout area and implementation of temporary grassing.
 2. Intermediate Phase will include the installation of the inlet traps, grassing, and slope down drains, diversion ditch, and surface roughening.
 3. Final Phase will include final stabilization of grassing with Matting.

3.0 SITE DEMOLITION

- A. Provide labor, material and equipment necessary to remove existing paving, curb and gutter, Storm and sewer pipes, utilities, and site items as required. This includes but is not limited to the existing parking lot, sidewalk, trees, and certain utilities. Remove existing trees and vegetation where indicated on the tree removal/ replacement plan.
- B. Protection of Existing Work: Before beginning cutting or demolition work, carefully survey the existing work and determine the extent of the work. Take necessary precautions to ensure against damage to existing work to remain in place, to be reused, or to remain the property of the City of Newnan. Repair or replace damage to existing work at no additional cost to the Owner. Carefully coordinate the work of this section with other work and construct and maintain shoring, bracing and supports, as required. Ensure that structural elements are not overloaded. Increase structural supports or add new supports as required as a result of cutting, removal, or demolition work performed.
- C. Demolition of structures and site utilities:
 1. Building structure
 - a. Demolition of existing warehouse buildings
 - b. Demolition of existing scale
 2. Sidewalk and Parking areas:
 - a. Demolition existing sidewalk along East Broad Street and Salbide Avenue
 - b. Demolition existing curb along East Broad Street, Salbide Avenue, and East Washington Street
 - c. Demolition of existing gravel lots on site
 - d. Demolition of concrete pad
 - e. Demolition of any existing walls within project site
 - f. Demolition railroad spurs tracks
 - g. Demolition of overhead rails
 - h. Demolition of existing stairs on western portion of property
3. Site utilities:
 - a. Fiber optic/Telephone lines: There may be fiber located within limits of demolition.
 - b. Electric Lines/ Light poles: There are power lines located in the eastern courtyard that will need to get rerouted. Pole on Salbide Avenue will need to be removed and relocated
 - c. Gas Lines: Removal and replacement of gas line serving the existing structure and relocation of gas meter located at the new buildings
 - d. Sanitary sewer lines: Remove all existing sewer lines within the limits of construction.
 - e. Storm Sewer Lines: Remove all existing storm lines within the limits of construction.
 - f. Domestic/Fire Water Line: Removal of existing water lines, fire hydrants, and valves throughout site.

II. MASTER CONCEPT PLAN

UTILITY NARRATIVE

4.0 EARTHWORK

- A. The scope of Earthwork includes, but is not limited to the following:
 1. Provide labor, material and equipment for excavating, backfilling, filling, grading and related work.
 2. Earthwork includes, but is not limited to, excavation, filling, compacting and grading in the areas shown on the drawings to obtain the required finished ground surface properly prepared to receive pavements, walks, building floor slabs, utilities, and drainage structures.
 - a. With the installation of the apartment buildings and parking lot, earthwork will be performed to bring all locations to finish grade.
 - b. Handicap accessibility will need to be met which may include re-grading to install additional ramps with handrails.
 - c. Swales will be needed to keep drainage off of building walls
 - d. Retaining walls on site greater than 4 ft will need to be designed and permitted by an engineer licensed in the state of Georgia.
 - e. Fall protection will need to be provided along all retaining walls and at the top of slopes greater than 4:1 through the means of fencing or railing
 - B. The work includes ditching in soil areas of high moisture content to allow the soil to drain prior to making excavations.
 - C. The work includes adjustment of moisture content up or down by discing of soils placed in fills if soil tests show drying to be necessary to meet compaction requirements.
 - D. The work includes spreading topsoils in sufficient quantities to backfill islands, medians, and roadway shoulders and open graded areas.
 - E. The work includes undercutting unsuitable soil materials and replacing with compacted approved soils.
 - F. The work includes stockpiling approved soil material in convenient location and in sufficient quantity for use in backfill of walls.
 - G. The work includes removal from the job of unsuitable, excess materials if pre-approved by Design Professional.
 - H. The work includes importing material, if required, from offsite.

Schematic Civil Narrative

5.1 WATER DISTRIBUTION SYSTEM

A. Water service will be provided to both site by tapping existing water service in the East Broad Street r/w. Anticipate a 3" domestic service and meter for the southwestern property and a 2" domestic service and meter for the northeastern property. These services shall conform with Coweta County Standards.

1. Provide labor, material, and equipment for the construction of the water distribution system from taps to the public system to building plumbing connection.
 2. Testing and disinfection of the installed system is incidental to the work.
 3. Provide construction staking in accordance with generally accepted practice for layout of underground utilities.
 4. The work includes coordination with building plumbing Contractors and building plumbing plans.
 5. Coordinate responsibilities for installation of meters, vaults, check valves, backflow preventers, taps, valves and appurtenances with the Coweta County Standards if a new tap will be required.
- B. Fire service may need to be upgraded to current code which would include but not limited to an 8" Fire Meter within a vault, 8" DCVA, fire department connection, a post indicator valve located 40' minimum away from the building, and service to the new buildings.

5.2 SANITARY SEWERS

A. Sanitary sewer service will be provided to both properties by tying service into existing service along East Broad Street. to the new building from the existing service on site.

1. Pipe:
 - a. If grading causes less than 3-feet of cover over existing sanitary sewer pipe, it will need to be replaced with ductile iron pipe. Ductile iron pipe shall be centrifugally cast in accordance with ANSI Standard specification A21, Class 50 minimum. Gaskets and fittings for ductile iron pipe: ASTM A74.
 - b. Where sewer line has more than 3-feet of cover C900 PVC gravity sewer pipe may be used. Use PVC gravity sewer pipe that meets ASTM D3034, ASTM F 679, SDR 35. Use gaskets that meet ASTM F 477. Use joints that meet ASTM D 3212

2. Manholes:

- a. Construct manholes of precast concrete rings, with cast iron frames and covers, per ASTM C478 in accordance with the Drawings. Make the invert channels smooth and semicircular in shape conforming to the inside of the adjacent sewer section. Make changes in direction of flow with a smooth curve of as large a radius as the size of the manhole will permit. Make changes in size and grade of the channels gradually and evenly. Form the invert channels directly in the concrete of the manhole base, or build up with brick and mortar, or be half tile laid in concrete. Make pipe connections to manhole using water stops, standard O-ring joints, special manhole couplings, or make in accordance with the manufacturer's recommendations. Make the floor of the manhole outside the channels smooth and slope toward the channels not less than one inch per foot nor more than two inches per foot.
- b. Use grey cast iron manhole frames and covers, in accordance with ASTM A48. Use cast iron conforming to Federal Specifications QQ-I-652 of good quality and such character as to make the metal of the casting strong, tough, and of even grain.
- c. Use frames and covers, smooth, free from scale, lumps, blisters, and sand holes and defects of every kind which would make them undesirable for the use for which they are intended. Do not plug or fill. Give castings one heavy coat of good grade asphalted paint at the foundry. Use solid covers identified with the word "sewer" cast in surface.

5.3 STORM SEWER

A. Storm water management will be in accordance with the City of Newnan regulations. Storm water management will account for all facilities on site. The new building roof drains will be collected, routed, and drained into an onsite pipe system. Storm water flows will be collected through HDPE piping and directed to a detention/retention system located under the proposed drives for both sites. This storm water management system will retain the first 1" of rainfall. The anticipated design for the site is to provide a bio-retention systems in landscape areas throughout the site. The discharge from our storm management system will flow into the adjacent area to the southeast portion of the site. The Contractor is to remove all debris and trash from existing storm infrastructure and detention pond remaining on site. Material to be used for construction consists of the following:

1. Reinforced concrete pipe:
 - a. Use pipe conforming to ASTM Specification C-76, Class III unless otherwise specified or shown on the drawings.
 2. Catch basins, drop inlets, junction boxes, and spillways:
 - a. Structures: concrete and/or brick as detailed on contract Drawings.
 - b. Concrete: conforming to the Site Concrete Section of these Specifications, minimum 28-day compressive strength of 3,000 psi.
 - c. Brick: hard No.1 manufactured of clay or shale of uniform standard commercial size with straight, parallel edges and square corners, burned uniformly hard entirely through with uniform color and uniform abrasion, ASTM C32.
 - d. Mortar: ASTM C270, type M.
 - e. Sand: clean and sharp, and free from deleterious substances and containing not more than five (5) percent by volume of material passing 100 mesh sieve.
 - f. Coarse aggregate: crushed stone of solid composition, free from dirt and debris, ASTM C33.
 - g. Gratings: grey iron casting, ASTM A-48.
 - h. Keep structures clean of all fallen masonry, silt, debris, and other foreign matter.
 - i. Precast concrete structures: ASTM Specification C478.
- 5.4 TELEPHONE / ELECTRICAL

A. Telephone/ fiber optic:

1. Run conduit to the proposed buildings.
- B. Electrical:
 2. Connect to power source on site to the proposed transformer. Run service from relocated transformer to within 5' of new building, adjacent to electrical room.
 3. Proposed transformer to sit on concrete pad and located in gravel courtyard

6.0 SITE PAVING

6.1 PARKING LOT ASPHALT PAVING

A. There will be additional new car spaces on both project sites along principal driveways. These areas will be constructed with a light duty asphalt paving (6" GAB, 2" binder, 1.5" topping). Principal driveways along eastern portion of the sites will be constructed with heavy duty paving (8" GAB, 2" binder, 1.5" topping); the construction of the parking spaces and principal drives should conform to the following standards:

1. Paving Base Course: Crushed stone base, primed as specified in Georgia D.O.T. Section 310, unless otherwise specified on the plans.
2. Use materials for hot mix asphalt concrete construction as specified in Georgia D.O.T. Section 400.
3. Use paving subbase of select soils from stockpiles and site grading operations.
4. Thermoplastic traffic stripe: Georgia DOT Section 653.
5. Use materials for shoulder paving that conform to those used in existing shoulders approved by Georgia D.O.T

II. MASTER CONCEPT PLAN

UTILITY NARRATIVE

6.2 CONCRETE PAVING, CURBING AND WALKS

A. The proposed site construction is anticipated to have concrete walks and handicap ramps/spaces, and concrete paved dumpster pad. The concrete paving at ADA spaces and dumpster pad shall be 4" base coarse, 6" concrete (4000 psi, min.). The concrete paving for sidewalks and curb and gutter should conform to the following:

1. Use Portland Cement Type I or Type III High Early Strength Cement, minimum 4000 psi strength at 28 days, 4" maximum slump unless otherwise shown on the drawings.
2. Use course aggregate Class A crushed stone, size 467, 67 or 57.
3. Use dowels conforming to AASHTO: M31.
4. Joint Fillers and Sealers - Georgia Department of Transportation, Section 833.

II. MASTER CONCEPT PLAN

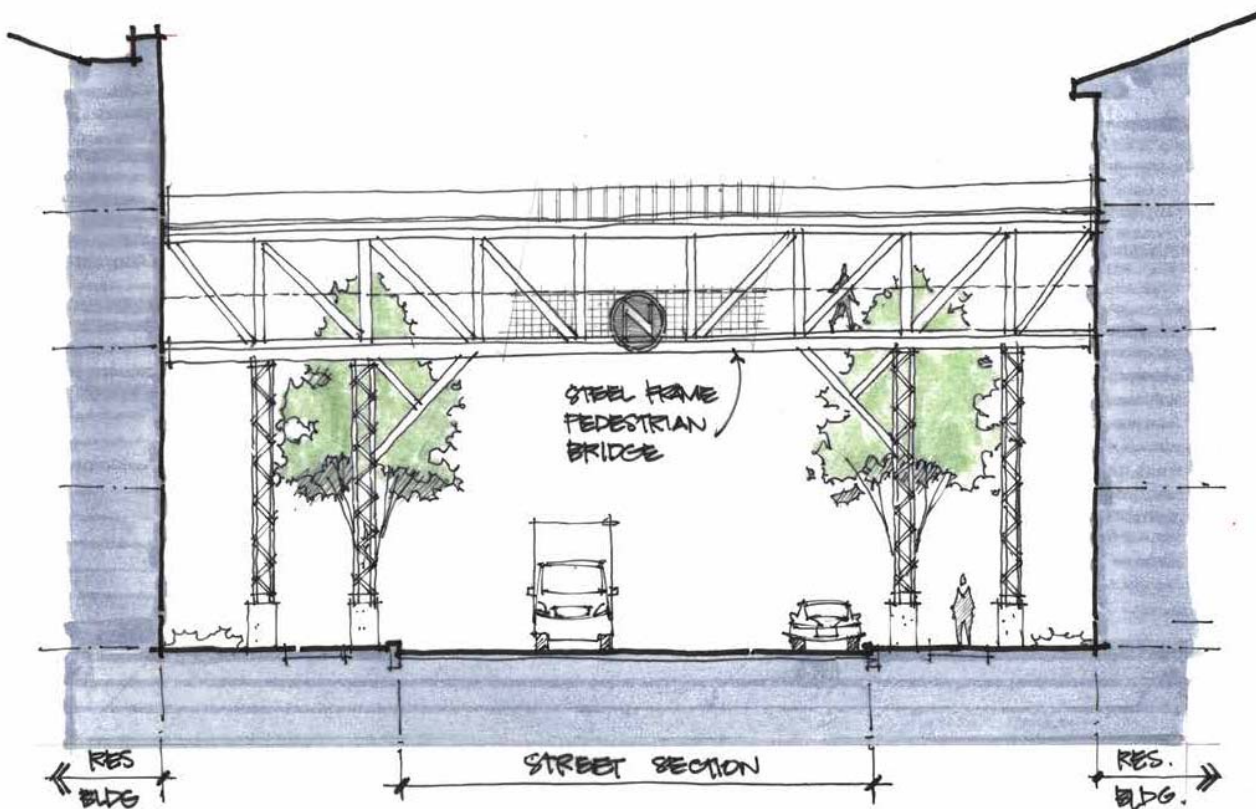
STREET SECTION

The height to width ratio of buildings to the separation across a street contributes significantly the character of the street and determines the level of enclosure created by the buildings. The threshold when pedestrians first perceive enclosure is a 1:4 ratio of building height to thoroughfare width; typical of low density environments. In denser urban context, height to width ratios between 1:3 and 1:2 create an appropriate enclosure on a thoroughfare. Street trees may be used to provide a similar sense of definition and enclosure.

The District provides a varying street width that ranges from 1:1.3 and 1:1.7 anchored by broad courtyard spaces at each end of the proposed new street.

¹ Ch. 4, A framework for walkable urban thoroughfare design; Greenville, SC zoning ordinance.

The details of the pedestrian bridge will harken back to the industrial heritage of the site, with steel detailing indicative of the Caldwell warehouse structures. The bridge and similar features will add to the vocabulary that blends these historical site characteristics with downtown Newnan.



PEDESTRIAN BRIDGE ACROSS THE PROPOSED STREET



AREA OF INFLUENCE

III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

MASSING and PLACEMAKING

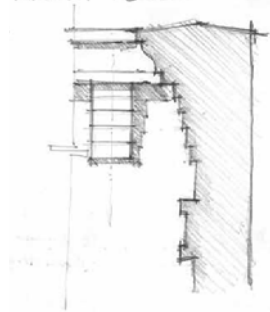
DESIGN GOALS:

- The Architectural character is based on influences from 'Main Street' character, and pedestrian oriented examples found throughout the downtown of small communities across America. Variation along facades emulates a Row-house or Brownstone quality. Elements such as porches/stoops, canopies, lighting and signage foster a pedestrian scale.
- The building materials of brick, cementitious siding and metal canopies provide a consistent vocabulary to the color and texture of the building. With a variety of forms in the building design, it is important not to select too many colors which could create visual chaos in the design. The building designs strive to be simple, clean and timeless.
- The graphic to the left depicts the **area of influence** as defined by the downtown overlay guidelines. The new architecture will borrow patterns from the existing context, such as the prevalence of 2 and 3 story brick clad parapet storefront throughout downtown Newnan.
- Appropriate building massing and materials are adapted to the four story building heights so that the each building elevation maintains proper proportion and scale.

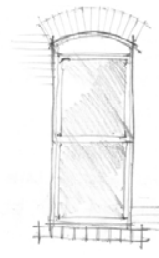
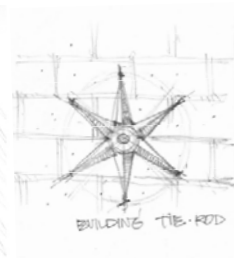
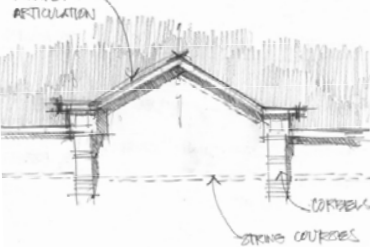
PLACEMAKING TECHNIQUES:

- The community also draws influence from 20th century factory and industrial buildings that existed on the site and area in general.
- The mass of the buildings are varied and arranged for a pedestrian scaled streetscape, as well as not overpowering the surrounding scale.
- Ornamental landscape/hardscape elements (site furniture, etc) are utilized to enhance the outdoor areas, screen parking areas and tie the buildings to the site.
- Building entries, porches and balconies encourage human interaction and promote a sense of community.

PARAPET DETAILS



PARAPET ARTICULATION



ARCH HEAD WINDOW
R-R. COVE BLDS



III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

EXISTING CONTEXT

Good design should take into account the context of place. Careful consideration has been given to elements of Newnan's existing Historic District. This page shows examples of the built environment, particularly some of the historic and eclectic qualities that portray the mass, scale, proportion and attention to detail which imbue Newnan with its unique character. These are the elements that link the proposed District architecture to Downtown Newnan as a progression of civic growth. The following page describes some of the particular details that influence our design.



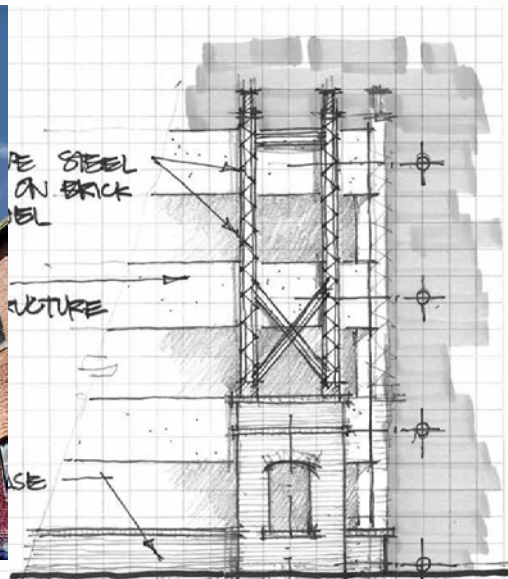


III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

MASSING and PLACEMAKING

Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



DECK SCREENING CONCEPT



THE DISTRICT at NEWNAN



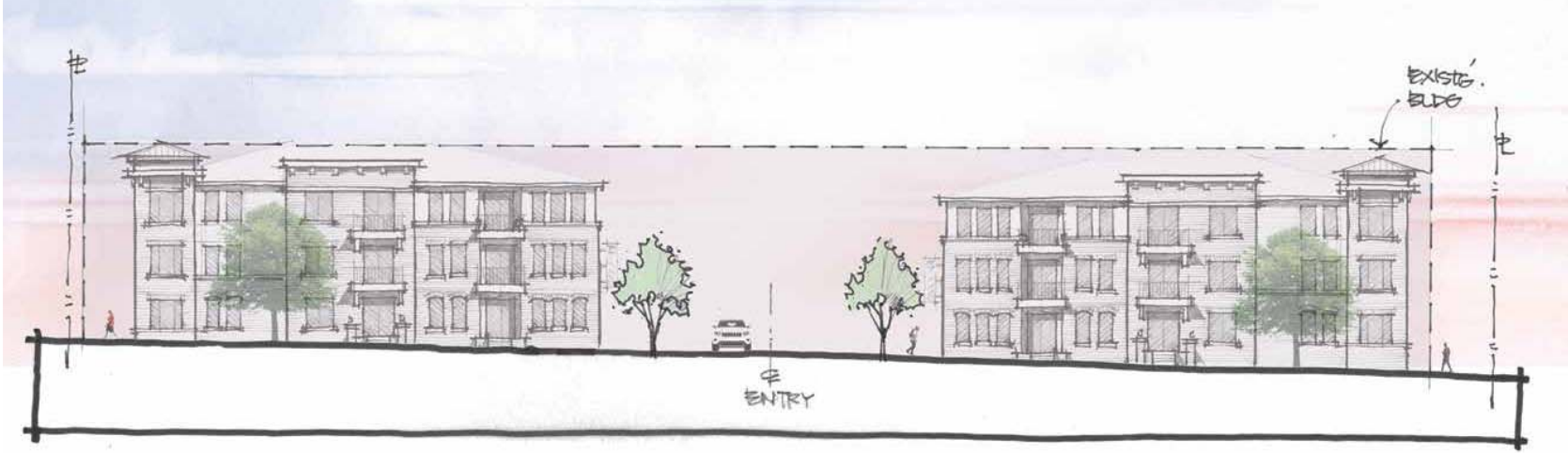
EXISTING STRUCTURES TO BE REMOVED DEPICTED IN LIGHT BLUE

III. ARCHITECTURAL and DESIGN GUIDELINES

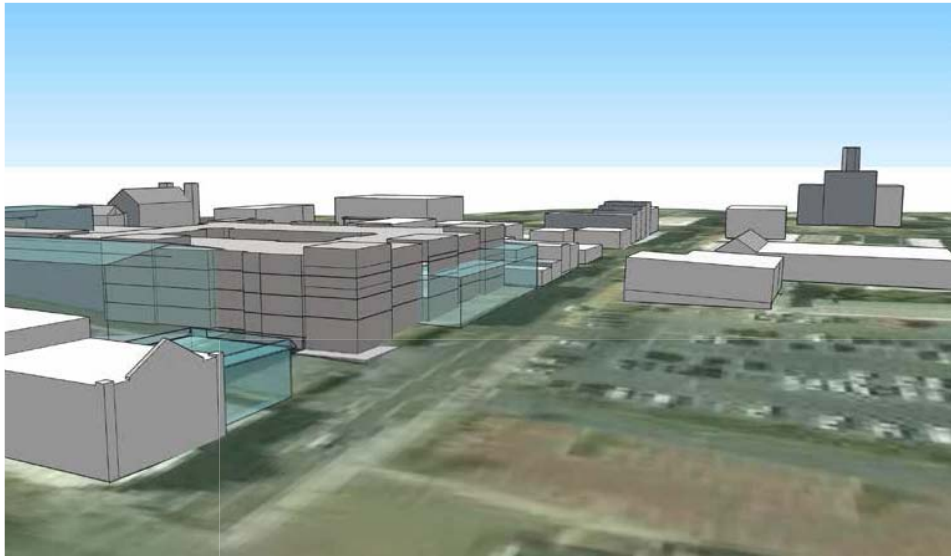
ARCHITECTURE

MASSING and PLACEMAKING

Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



VIEW FROM SALBIDE AVE



VIEW LOOKING WEST ALONG EAST BROAD
 (existing structures to be removed depicted in light blue)

III. ARCHITECTURAL and DESIGN GUIDELINES

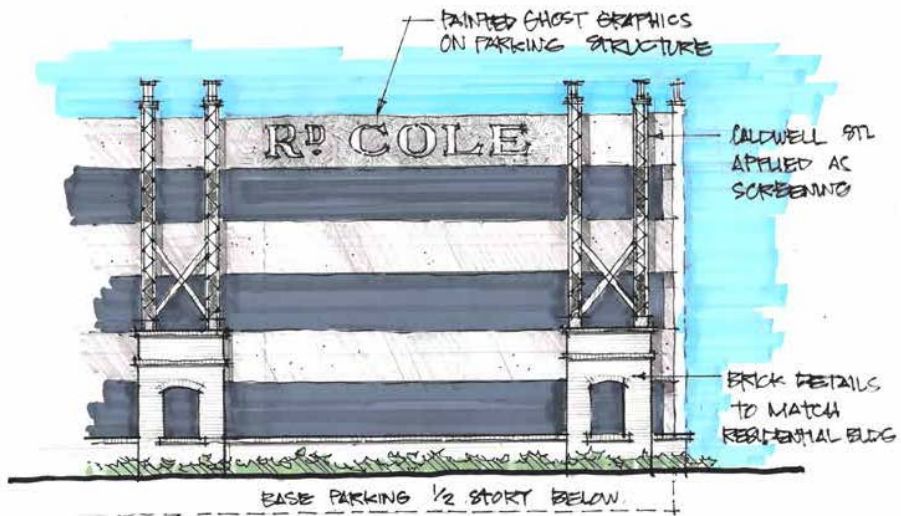
ARCHITECTURE

MASSING and PLACEMAKING

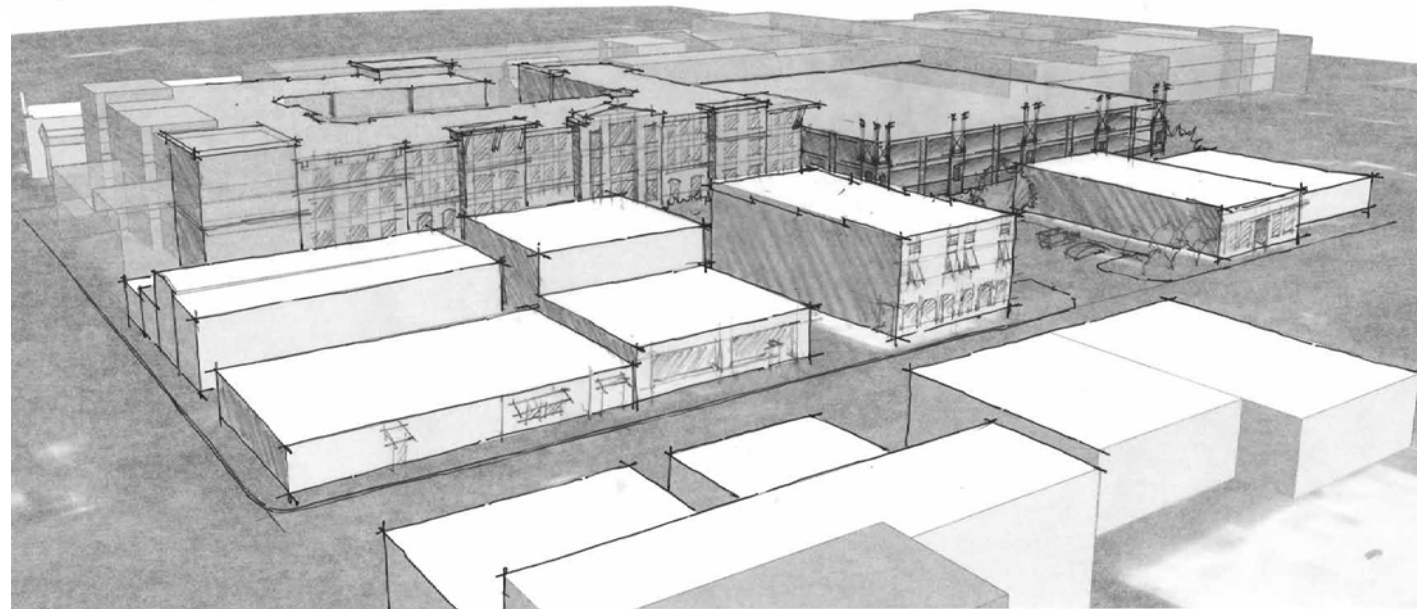
Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



VIEW ALONG EAST BROAD ST



DECK SCREENING DETAIL CONCEPT



VIEW FROM WEST

III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

MASSING and PLACEMAKING

The structured parking has been carefully placed to the interior of the site, and is surrounded on 3 sides by residential architecture. Its height is also mitigated by being a half story below grade. Where the parking structure is exposed, decorative screening treatments will be applied to blend it into the architectural vocabulary.

The design intent is contemplating reuse of various artifacts from the existing industrial buildings as part of the screening devices.

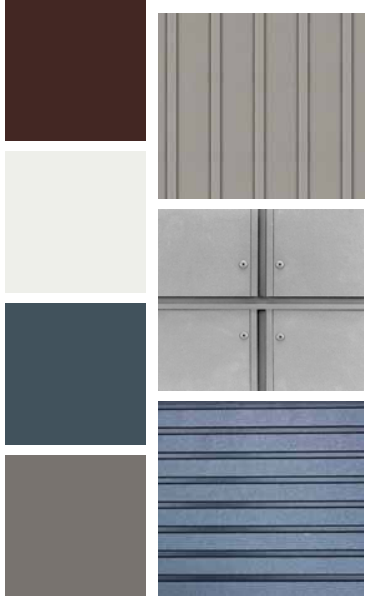
III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

MATERIALS and DETAILS



VIEW ALONG EAST BROAD ST



III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

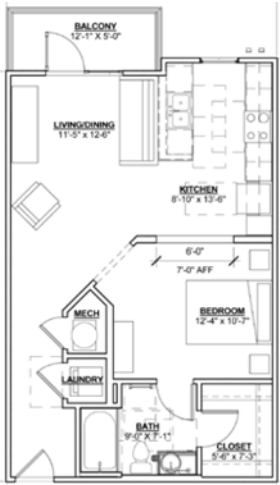
MATERIALS and DETAILS



VIEW FROM SALBIDE AVE



THE DISTRICT at NEWNAN



UNIT A1
681 s.f. + balcony



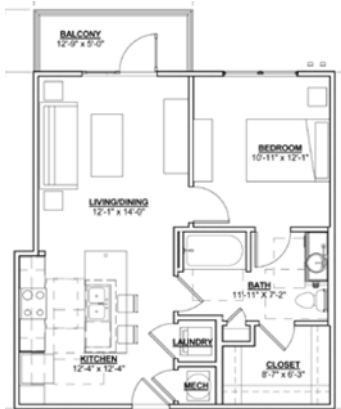
UNIT A2
756 s.f. + balcony



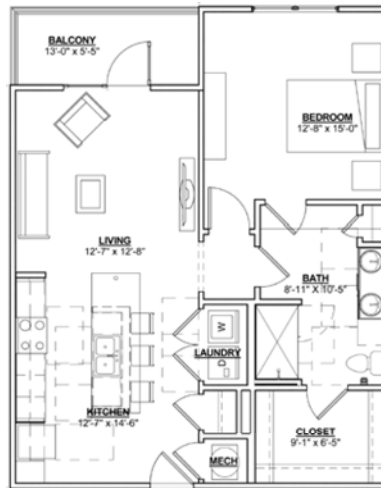
UNIT A3
779 s.f. + balcony



UNIT A4
740 s.f.



UNIT A5
668 s.f. + balcony



UNIT A6
806 s.f. + balcony

III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE
ONE BEDROOM UNIT PLANS

TYPICAL ONE BEDROOM UNITS (does not include variants such as Accessible Units). Unit plans subject to refinement in final design.

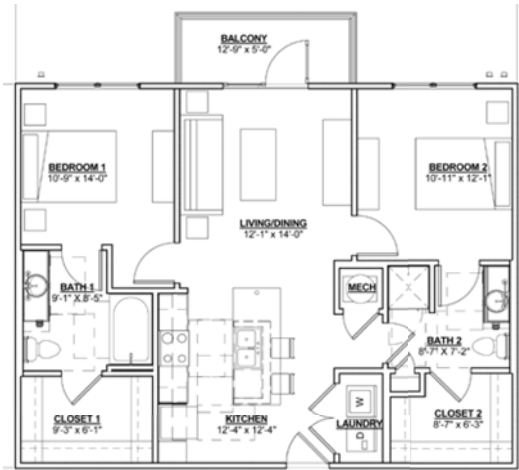
Unit plans are not to scale.

III. ARCHITECTURAL and DESIGN GUIDELINES

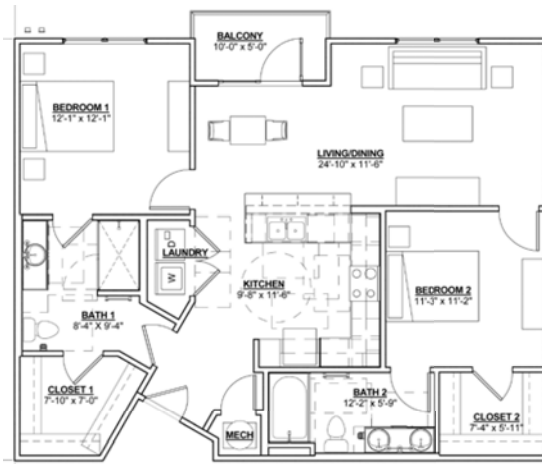
ARCHITECTURE

TWO BEDROOM UNIT PLANS

TYPICAL TWO BEDROOM UNITS (does not include variants such as Accessible Units). Unit plans subject to refinement in final design.



UNIT B1
950 s.f. + balcony



UNIT B2
1,091s.f. + balcony

Unit plans are not to scale.

III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE
TYPICAL INTERIOR FINISHES



TYPICAL 2 BEDROOM UNIT FLOOR PLAN & FINISHES

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



PROPOSED UNIT FINISHES - OPTION A

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



PROPOSED UNIT FINISHES - OPTION B

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



TYPICAL KITCHEN



TYPICAL KITCHEN DETAIL



TYPICAL BEDROOM



TYPICAL KITCHEN



TYPICAL KITCHEN



TYPICAL
BEDROOM
DETAIL

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



TYPICAL AMENITY FINISHES

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN



TYPICAL OUTDOOR PATIO



TYPICAL POOL AND CABANA

III. ARCHITECTURAL and DESIGN GUIDELINES

ARCHITECTURE

TYPICAL LANDSCAPE/HARDSCAPE



TYPICAL CABANA INTERIOR



TYPICAL OUTDOOR PATIO



TYPICAL COURTYARD



TYPICAL COURTYARD

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES

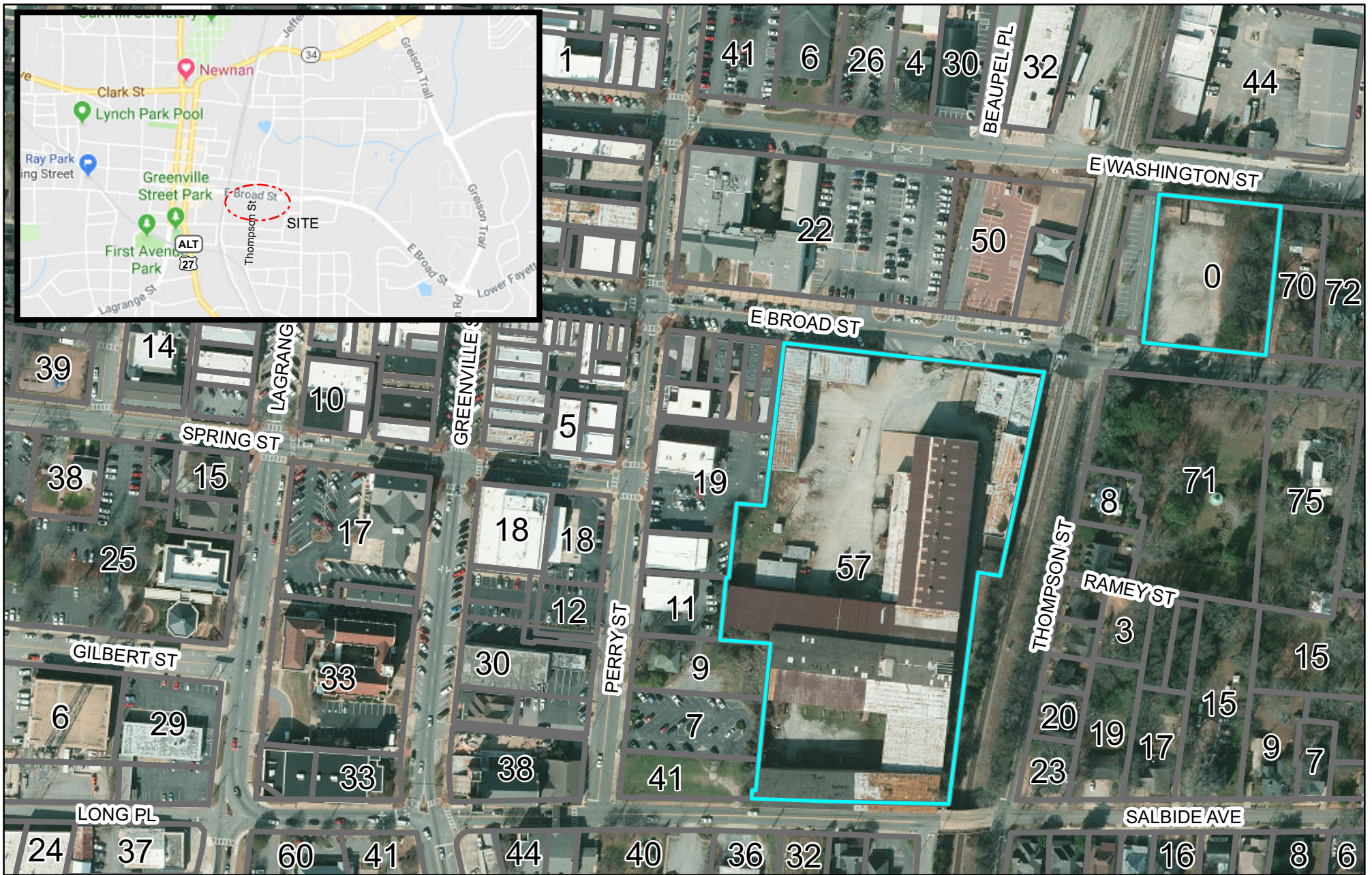
ARCHITECTURE



Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at DULUTH WAS COMPLETED BY THE DEVELOPER AND DESIGN TEAM IN 2018

THE DISTRICT at NEWNAN






CITY OF NEWNAN | Project Location



CITY OF NEWNAN
 PLANNING DEPT.
 25 LAGRANGE STREET
 NEWNAN, GEORGIA 30263
www.ci.newnan.ga.us


 NORTH
 1 inch = 200 feet

LEGEND

-  Project Location
-  PARCELS
-  CITY LIMITS

ADDRESS

E BROAD ST @ THOMPSON ST
 NEWNAN GA. 30263

Community Assessment Memo

To: Tracy Dunnavant, Planning Director

From: Vern Wilburn, P.E., PTOE

Date: May 31, 2019

Re: Proposed Redevelopment, The District at Newnan
57 E. Broad Street

This memo outlines community impacts expected to occur from the proposed rezoning and development of a 6.667-acre site located at 57 East Broad Street. The development, known as The District at Newnan, is being proposed by The Residential Group.

The proposed project is the redevelopment of property that was once the RD Cole Manufacturing Company. The existing office and warehouse building located adjacent to the railroad will be renovated. The large dilapidated mill building further to the north will be demolished and replaced. A site plan is included as Attachment A.

The existing RD Cole office building contains 5600 square feet of space that will be renovated and used as a general office building. The warehouse building that will be renovated contains 13,500 square feet. The new buildings proposed for the site will contain 340 residential dwelling units. There will also be a four-story parking deck on the site.

There will be a new internal roadway constructed on the site between E. Broad Street and Salbide Avenue. This road will be private but will not have access control. There will be a pedestrian connection from this road to Perry Street to the north. The site plan also acknowledges the future Linc Multi-Use Trail along the north side of Thompson Street between E. Broad Street and E. Washington Street.

Input was requested from various agencies and utility providers including: the Coweta County School Board, Newnan Utilities, the Newnan Police Department, and the Newnan Fire Department. Responses have been received from each of them and the responses are included in this memo.

A traffic impact study was also prepared and is presented as a separate document. The results of the traffic study are summarized herein.

COWETA COUNTY SCHOOL SYSTEM

A letter was received from the Operations Director for the Coweta County School System who provided information on the expected impact. A copy of the letter from Ronnie Cheek is included in the as Attachment B.

Mr. Cheek indicated that many of the schools serving this District are currently at or near capacity. He stated that serving the needs of the proposed development may present challenges.

He asked that as much advance notice as possible be provided to the school system with additional information about the schedule. This information will be provided to Mr. Cheek at a later date.

It is noted that an additional tax revenue of \$360,012 per year would be dedicated to the school system as a result of the proposed development (see page 3).

It should also be recognized that the residential community to established in this development will be targeted toward younger people who are less likely to have school age children.

ROADS AND STREETS

A traffic impact study was performed for the proposed development. The traffic impact study report prepared by Maldino and Wilburn is included as a separate document. This section will summarize the findings of the traffic study.

The traffic expected to be generated by the proposed development is shown in the following table.

EXPECTED TRIP GENERATION

LAND USE CODE	LAND USE	SIZE	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			ENTER/EXIT	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
150	Warehouse	13.5 ksf	18	2	1	3	1	3	4
220	Low-Rise Apartment	24 Units	88	3	8	1	8	5	13
220	Low-Rise Apartment	316 Units	1157	33	112	145	112	65	177
710	Office	5.6 ksf	25	5	1	6	1	5	6
TOTAL			1288	43	122	165	121	77	198

The existing traffic volumes on the streets in the study area are very low. The volumes on Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour.

Since the proposed driveways will be near the railroad crossings, the length of the longest expected queues along Broad Street and Washington Street were evaluated using capacity analysis. It was

determined that the queuing would not exceed one or two vehicles and would likely not extend back to the crossings.

The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site.

It was determined that the additional traffic from this development will have very little impact on the operations of the street system in the study area. The impact of additional traffic is highest for the Thompson Street approach to E. Broad Street. The additional delay for this movement will be about 9 seconds per vehicle during the PM Peak Hour. This movement has a Level of Service (LOS) D at present which remains unchanged as a result of the project.

Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with E. Broad Street and E. Washington Street.

It is recommended that the development plans seek ways to incorporate the Linc Multi-Use Trail system.

NEWNAN POLICE DEPARTMENT

A letter was received from Police Chief Meadows who provided information on the expected impact. A copy of the letter from Chief Meadows is included as Attachment C.

Chief Meadows states that the population increase is 2.55 people per residential unit or 867 total new residents resulting in 1405 additional annual calls for service. Based on the current number of police officers (35) servicing calls, this would equate to 40 additional annual calls per year per officer.

NEWNAN FIRE DEPARTMENT

An email response was received from Fire Chief Stephen Brown who indicated that the department currently has enough manpower and equipment to serve the proposed development. A copy of the email from Chief Brown is included as Attachment D.

NEWNAN UTILITIES

An email response was received from Scott Tolar of Newnan Utilities. The email, which is included as Attachment E, indicates that Newnan Utilities has ample capacity to serve the proposed development.

CITY OF NEWNAN TAX REVENUE

The subject property, Parcel N04 0010 006 and N04 0012 001, currently have an assessed values of \$1,373,200 and \$120,910 respectively for a total of \$1,494,110. Tax parcel information from the qPublic website is included as Attachment F.

The City of Newnan's current millage rate is 30.22. The annual tax revenue to the City based on the current assessed value is \$18,061.

It is estimated that the fair market value of the property would increase to \$50 million with the proposed improvements. The assessed valuation would be 40% of the fair market value or \$20 million. The resulting annual tax revenue would be \$604,400 per year (an increase of \$586,339 per year). The following table shows the distribution of the additional tax revenue.

ESTIMATED ADDITIONAL ANNUAL TAX REVENUE	
County	\$147,171
School	\$360,012
City	\$79,156
TOTAL	\$586,339

OTHER BENEFITS TO THE CITY OF NEWNAN

The development of this property as proposed would require significant impact fees to be paid including the following:

Development Impact Fee	\$1,136.07 per unit	\$386,263
Sanitary Sewer Impact Fee	\$1,800 per unit	\$612,000
Water Meter and Extension Fees	Estimated	\$100,000
TOTAL IMPACT FEES		\$1,098,263 (Estimated)

ATTACHMENTS

PRELIMINARY SITE PLAN A
LETTER FROM COWETA SCHOOL SYSTEM B
LETTER FROM NEWNAN POLICE DEPARTMENT C
LETTER FROM NEWNAN FIRE DEPARTMENT D
LETTER FROM NEWNAN UTILITIES E
TAX PARCEL DATA FROM QPUBLIC WEBSITE F

ATTACHMENT A
SITE PLAN

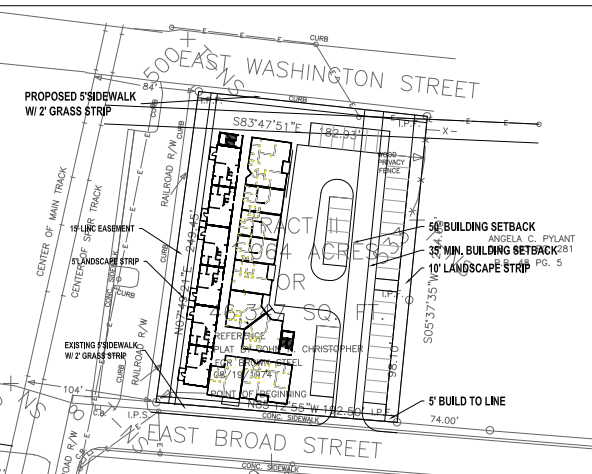


**57 BROAD STREET
PRELIMINARY SITE SUMMARY**

The Residential Group
Studio Architects
PR: 18-141

Category	SI	AL4	A1	A2	A3	A7	B1	B2	B3	No./Do's	Parking	Bldg. Ht.	Total Net Unit Area	Leasing/Agency	Comm'l Area	
office bldg	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	0.00%	0 sp	0.00%	0.00%	0.00%	5,700 sf	78,100 sf
warehouse										100.00%	0 sp	4 Story	115,596 sf	7,236 sf		
A	7		7	40	22	24	7	8	15	139.00%	209 sp	4 Story	39,000 sf	45 sp	4 Story	27,940 sf
B				12			18		8	57.00%	36 sp	4 Story	56,427 sf		4 Story	56,427 sf
C			3	16			12	20	4	57.00%	36 sp	4 Story	45,439 sf		3 Story	22,688 sf
D	8		3	8	4		12		14	49.00%	74 sp	4 Story	24,000 sf		3 Story	29,488 sf
E				12			12		2	24.00%	36 sp	3 Story	24,000 sf		3 Story	29,488 sf
F	9	18	3	2			4		5	41.00%	62 sp	3 Story	29,488 sf			
TOTALS	24	18	16	75	50	28	41	28	60		510 sp		297,258 sf	7,236 sf	25,800 sf	0 cars
%age by unit	7.1%	5.5%	4.7%	22.1%	14.7%	5.8%	12.1%	8.3%	17.6%							
%age by bldg	12.4%			49.7%			37.9%									
net unit area	640 sf	624 sf	779 sf	722 sf	745 sf	839 sf	994 sf	1,162 sf	1,167 sf	874 sf	874 sf	874 sf	874 sf	874 sf	874 sf	874 sf
total net area	15,360 sf	11,232 sf	12,464 sf	54,150 sf	37,250 sf	23,492 sf	40,754 sf	32,536 sf	70,020 sf	297,258 sf						

Notes:
net unit is unit box w/o bakery



LAND USE SUMMARY
 TOTAL SITE AREA: 6.667 AC / 290,415 SF
 EXISTING ZONING: CBD
 PROPOSED ZONING: MXD / DDO
 OPEN SPACE: 15% = 43,563 SF 50% REDUCTION - SEC 6-22: 21,781 SF
 ADAPTIVE REUSE: 25,800 SF
 RD COLE: 5,700 SF
 WAREHOUSE: 20,100 SF
 RESIDENTIAL: 410,153 SF
 ACCESSORY (leasing, amenity, service): 11,000 SF
 TOTAL GROSS BLDG AREA: 421,153 sf (Does not include parking deck)
 TOTAL PARKING PROVIDED: 510 SPACES

PRELIMINARY SITE PLAN
 SCALE: 1" = 40'-0"
 0 20' 40'

THE DISTRICT at NEWMAN
 57 E BROAD STREET
 NEWMAN, GEORGIA



DATE: 10/20/19

REV: DATE: 02/03/20

PRELIMINARY SITE PLAN

Project No. APRIL 15, 2019

PROJECT NO. 18-141

psp.01

ATTACHMENT B
LETTER FROM COWETA SCHOOL SYSTEM



Coweta County School System Operations Center

Vern Wilburn, P.E., PTOE
Maldino & Wilburn
75 Jackson St., Suite 402
Newnan, GA 30263

Re: Proposed Development
57 E. Broad St. Proposed Development

Mr. Wilburn,

In response to your request for input on the community impact study for the proposed development referenced above, we offer the following based on the information available:

In our experience, residents of apartment dwellings are often more transient than those in single family dwellings. This may present challenges when planning for school enrollment and meeting student needs. Due to the high density housing in the area of the proposal, school capacity is an ongoing concern. Many of the schools serving that area are at or near capacity.

If approved, we would request that the developer provide us advanced notice of the following information for our planning purposes:

What is the construction schedule for the project?

What is the proposed build-out timeline?

Will the project be built in phases?

Thank you for the opportunity to provide feedback.

Sincerely,



Ronald C. Cheek
Director of Facilities
Coweta County School System

ATTACHMENT C
LETTER FROM NEWNAN POLICE DEPARTMENT





**NEWNAN POLICE DEPARTMENT
CITY OF NEWNAN**

1 Joseph Hannah Blvd
P.O. Box 1193
Newnan, GA 30264
770-254-2355
FAX: 678-423-4130

June 24, 2019

**To: Vern Wilburn
Maldino & Wilburn
Traffic Engineering Consultants**

Reference: Impact of development at Caldwell Tanks location on East Broad Street

Dear Mr. Wilburn,

In reviewing historical information concerning number of calls for service, response time, and number of officers, following is the impact to the police department services for the 340 residential units that will occupy this site.

These numbers do not include any information concerning office and/or retail storefronts.

The numbers are projected with 35 Officers being used to determine calls per officers. These 35 officers are patrol officers who will normally be the first responders to any call for service.

Annual Calls for service	Estimated Population	Calls per citizen	Current Calls per Officer	Estimated occupants each new resident	Calls for additional residents	Additional calls per Officer	Additional Officers to maintain current calls per Officer	Estimated time on each call	Response time
54,954	34,000	1.62	1,571	2.55	1,405	40	1	1 hour	5 min.

While these numbers may appear to be low in number, it does take an officer off the street longer than just taking information, and filing a report.

It will also require one additional fully equipped patrol cars for the additional Officers.

We would be able to service this development, but it would require a longer response time.

Respectfully,

**Douglas L. Meadows
Chief of Police**

ATTACHMENT D
LETTER FROM NEWNAN FIRE DEPARTMENT





NEWNAN FIRE DEPARTMENT

23 JEFFERSON STREET • NEWNAN, GA 30263
770-253-1851 (P) • 770-638-8678 (F)



Stephen R. Brown, Fire Chief

April 29, 2019

Vern Wilburn, PE PTOE
Maldino & Wilburn Traffic Engineering Consultants
75 Jackson Street
Newnan, Ga. 30263

Re: Proposed Multi-Used Development
57 East Broad Street, Newnan, Ga. 30263

Dear Ms. Wilburn,

Newnan Fire Department personnel has reviewed the plans for the Proposed Multi-Used Development for the property at 57 East Broad St. At this time we confirm that we have adequate man power and equipment to service this property.

If you have any question concerning this matter, please feel free to contact me.

Thank you,


Chief Stephen Brown
Newnan Fire Department

ATTACHMENT E
LETTER FROM NEWNAN UTILITIES





Date: May 20, 2019

Attn: Vern Wilburn, P.E., PTOE
75 Jackson Street
Suite 402
Newnan, GA 30263

REF: 57 East Broad Street Newnan, GA

Dear Mr. Wilburn,

I am writing per your request to confirm that Newnan Utilities will be the power, water and sewer service provider for the above referenced project. At this time, Newnan Utilities also has ample capacity to serve this proposed facility, based on the following information:

1. Parcel Number N04 0010 006 and N04 0012 001
2. 6.42 Acres
3. Electric:
 - a. Developer shall provide Newnan Utilities Engineering with AutoCAD dwg. files for electrical design.
 - b. Developer or Electrical Engineer shall complete Newnan Utilities load data sheet
 - c. Electrical shall be built out per Newnan Utilities contractor manual
4. Sanitary Sewer:
 - a. Developer shall connect to Newnan Utilities Sanitary Sewer System.
 - b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
 - i. Design and Construction of development sanitary sewer system per Newnan Utilities Specifications.
 - ii. Design and construction of connection to Newnan Utilities Sanitary Sewer System.
 - iii. Cost for analyzing existing sanitary sewer system by an engineer firm approved by Newnan Utilities.
 - iv. Existing sanitary sewer upgrades to handle proposed development. This is to include any lift station upgrades, gravity sanitary sewer upgrades, sanitary sewer force main upgrades, and any other upgrades deemed necessary by Newnan Utilities.

70 Sewell Road
Newnan, GA 30263
770-683-5516
770-683-0292 fax
www.NewnanUtilities.org

- v. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.
 - vi. Sanitary Sewer Impact fees associated with connection to Newnan Utilities Sanitary Sewer System.
5. Water:
- a. Developer shall connect to Newnan Utilities Water System.
 - b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
 - i. Construction of development water system per Newnan Utilities Specifications.
 - ii. Design and construction of connection to Newnan Utilities Water System.
 - iii. Cost for analyzing existing water sewer system by an engineer firm approved by Newnan Utilities.
 - iv. Existing water upgrades to handle proposed development. This is to include water system upgrades, fire protection upgrades, and any other upgrades deemed necessary by Newnan Utilities.
 - v. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.

Please let me know if you have any questions or need additional information.

Sincerely,

Scott Tolar, P.E.
Newnan Utilities
(770) 301-0245

ATTACHMENT F
TAX PARCEL DATA



Summary

Parcel Number N04 0010 006
Location Address 57 E BROAD ST
Legal Description IND PLANT/LT E BROAD ST
(Note: Not to be used on legal documents)
Class I3-Industrial
(Note: This is for tax purposes only. Not to be used for zoning.)
Tax District NEWNAN 02 (District 02)
Millage Rate 30.22
Acres 5.5
Neighborhood DOWNTOWN COMM 0399 (0399)
Homestead Exemption No (S0)
Landlot/District N/A

[View Map](#)

Owner

BROAD STREET FORUM INC
 4000 TOWER RD
 LOUISVILLE, KY 40219

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Industrial	Ind-County Industrial	Acres	239,580	0	0	5.5	1

Commercial Improvement Information

Description Inds Light MFG-Avg
Value \$944,011
Actual Year Built 1884
Effective Year Built 1978
Square Feet 105996
Wall Height 30
Wall Frames
Exterior Wall
Roof Cover
Interior Walls
Floor Construction
Floor Finish
Ceiling Finish
Lighting
Heating
Number of Buildings 1

Description Inds Light MFG-Avg
Value \$138,191
Actual Year Built 1956
Effective Year Built 1980
Square Feet 11550
Wall Height 35
Wall Frames
Exterior Wall
Roof Cover
Interior Walls
Floor Construction
Floor Finish
Ceiling Finish
Lighting
Heating
Number of Buildings 1

Permits

Permit Date	Permit Number	Type	Description
10/02/2013	2013-00016	DEMOLITION	

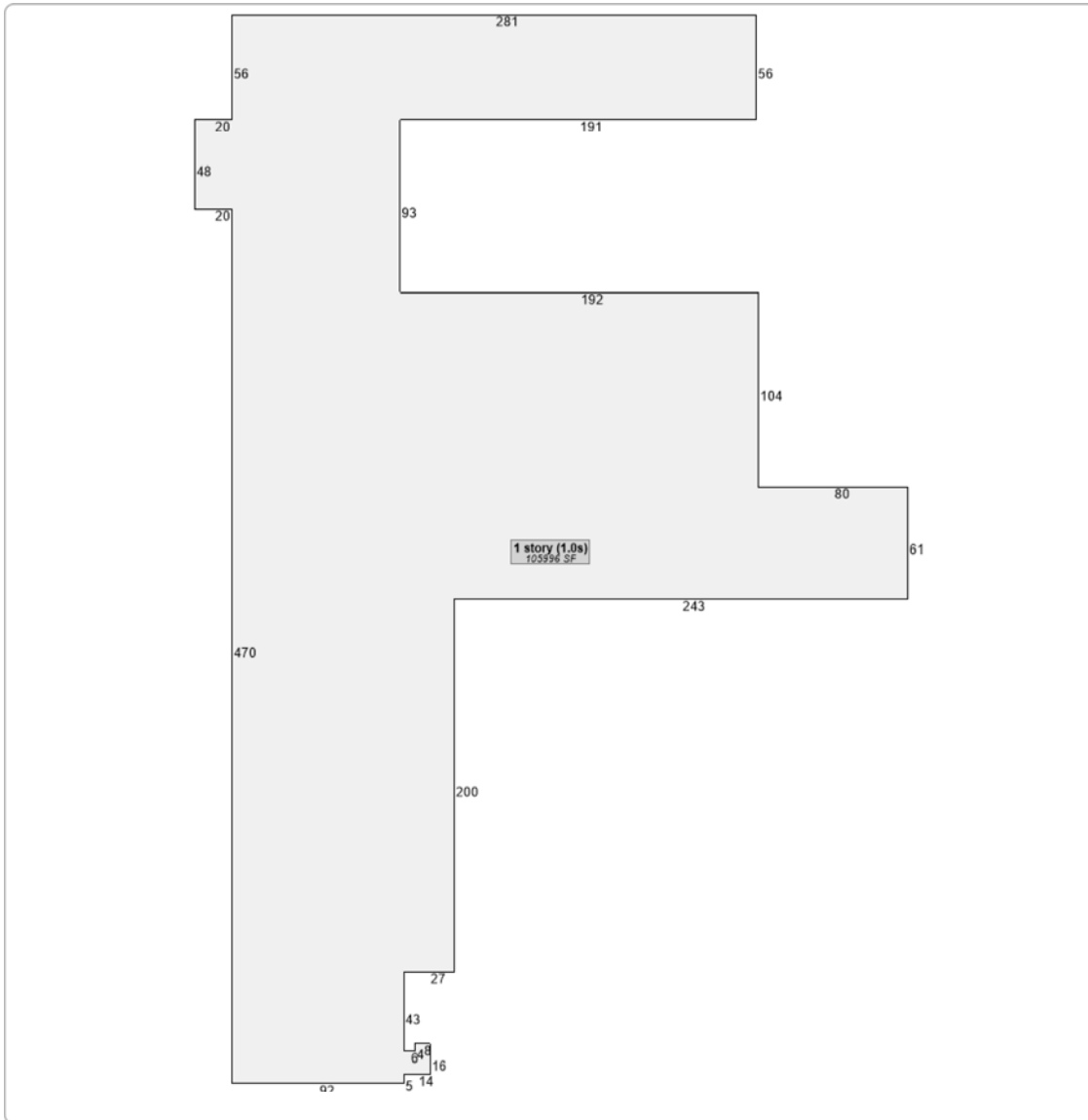
Sales

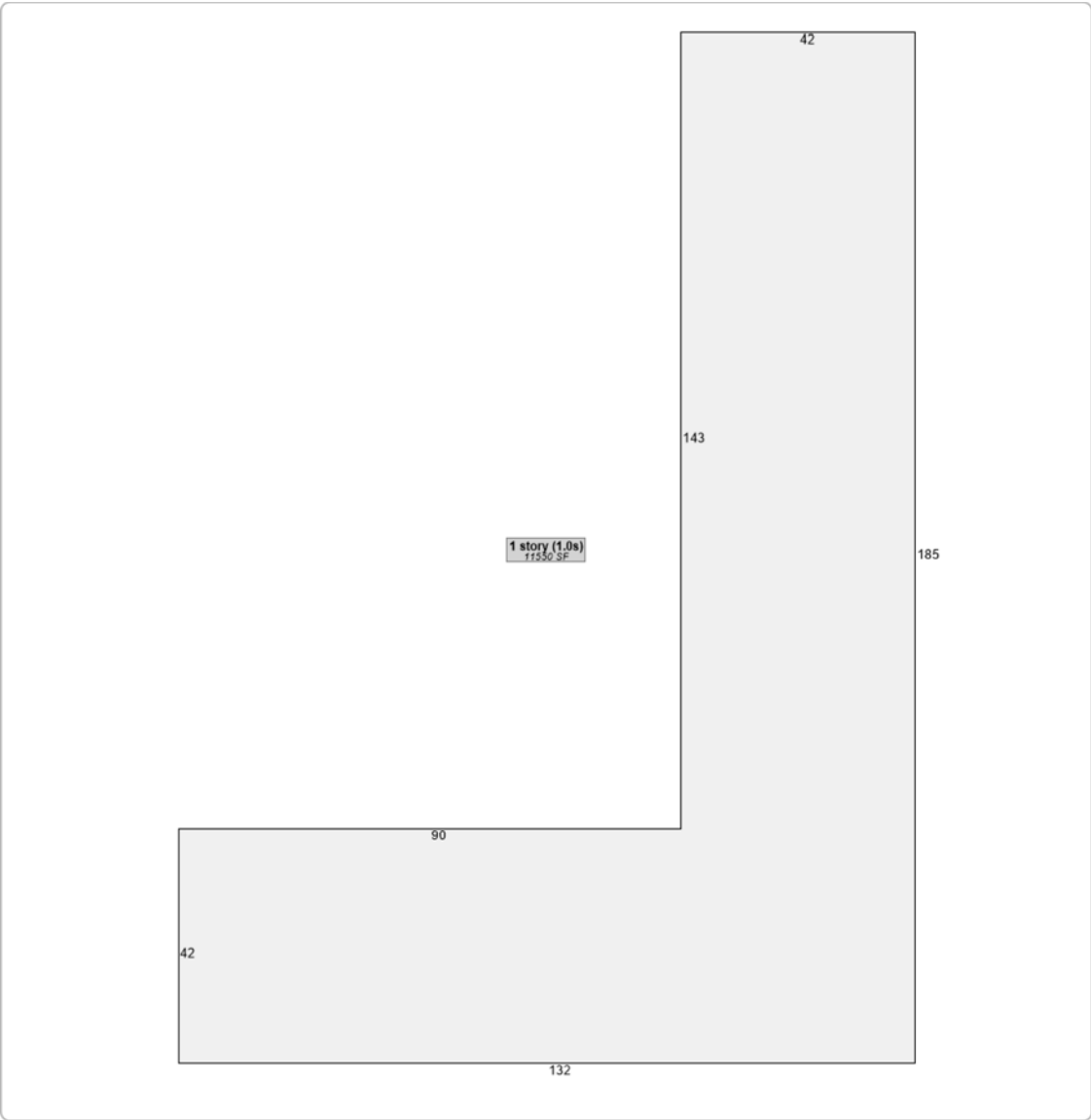
Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/25/2002	1995 312	77 50	\$1,740,000	QUALIFIED MULTIPLE	BROWN STEEL CONTRACT	BROAD STREET FORUM INC
	00		\$0	UNKNOWN STATUS		BROWN STEEL CONTRACT

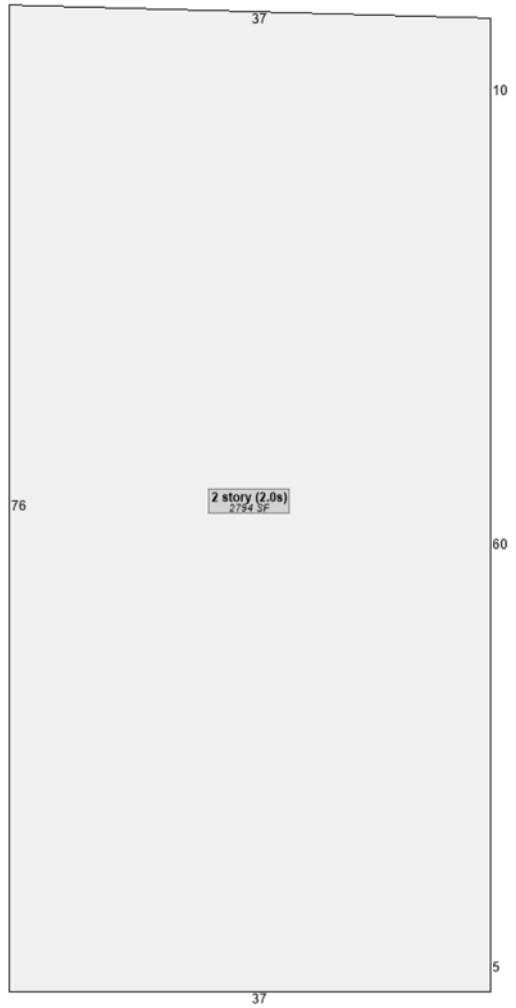
Valuation

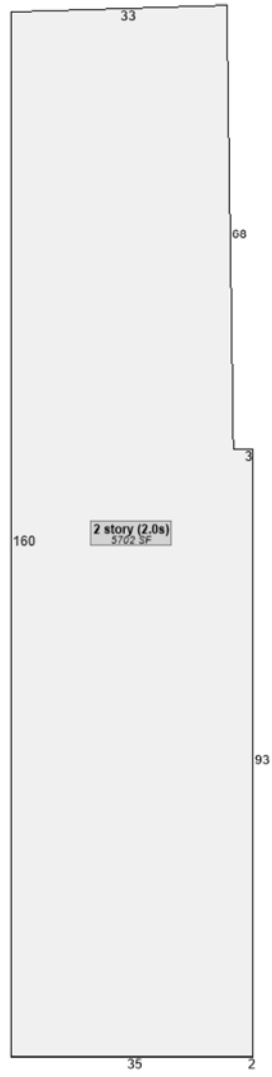
	2019	2018	2017	2016
Previous Value	\$1,373,200	\$1,373,200	\$1,373,200	\$1,373,200
Land Value	\$82,500	\$82,500	\$82,500	\$82,500
+ Improvement Value	\$1,290,700	\$1,290,700	\$1,290,700	\$1,290,700
+ Accessory Value	\$0	\$0	\$0	\$0
= Current Value	\$1,373,200	\$1,373,200	\$1,373,200	\$1,373,200

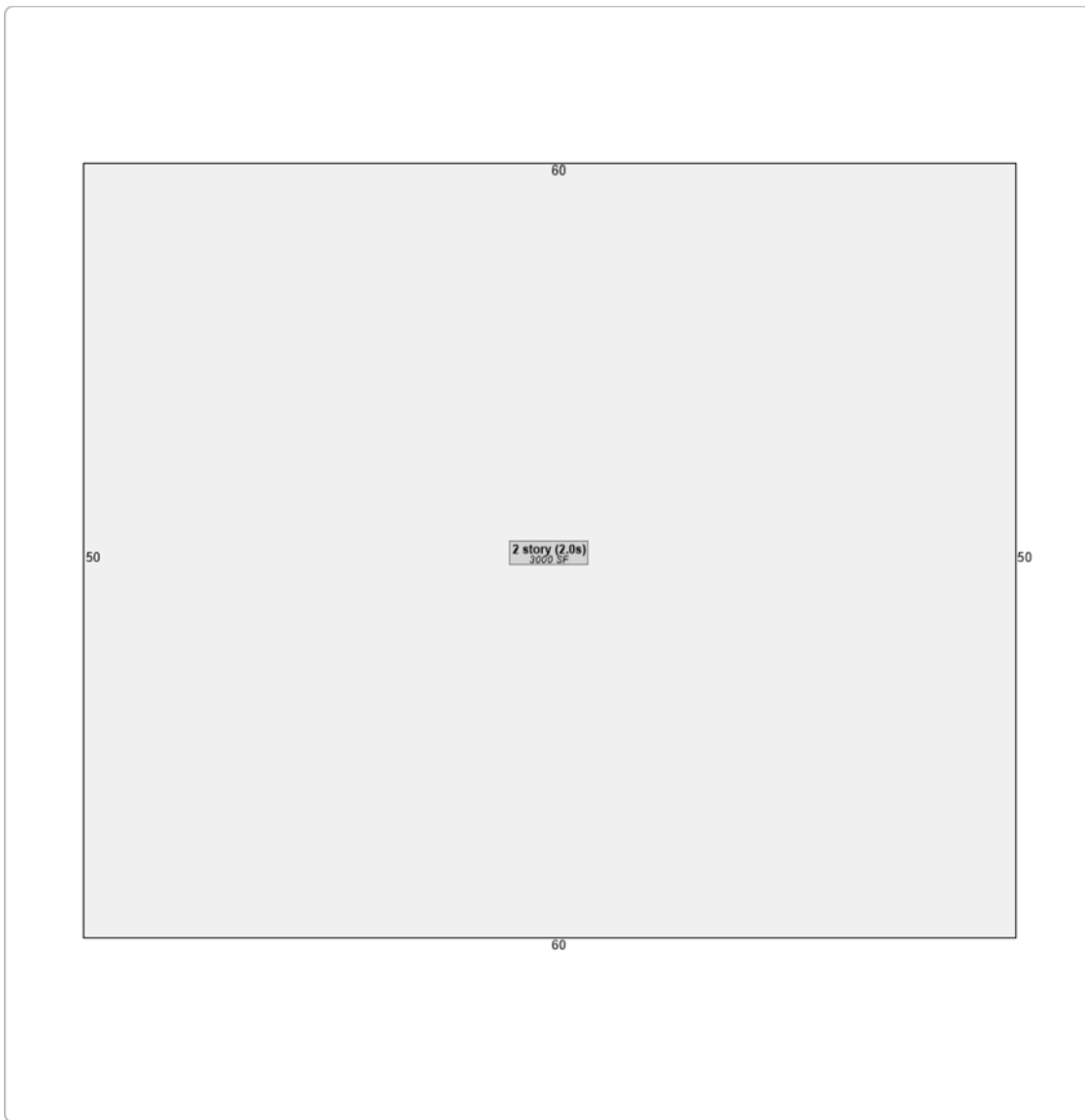
Sketches











No data available for the following modules: Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Septic Drawings, Photos.

The Coweta County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

Developed by
 **Schneider**
GEO SPATIAL

Last Data Upload: 5/27/2019, 12:47:47 AM

Version 2.2.20

Summary

Parcel Number	N04 0012 001
Location Address	
Legal Description	V/L E BROAD ST <i>(Note: Not to be used on legal documents)</i>
Class	C3-Commercial <i>(Note: This is for tax purposes only. Not to be used for zoning.)</i>
Tax District	NEWNAN 02 (District 02)
Millage Rate	30.22
Acres	0.92
Neighborhood	Comm/Ind Newnan (G10000)
Homestead Exemption	No (S0)
Landlot/District	N/A

[View Map](#)

Owner

BROAD STREET FORUM INC
 STE 14
 3500 HWY 34 E
 SHARPSBURG, GA 30277

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	Comm-Downtown Off Main	Front Feet	40,000	187	228	0.92	1

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/25/2002	1995 312	77 50	\$1,740,000	QUALIFIED MULTIPLE	BROWN STEEL CONTRACT	BROAD STREET FORUM INC
	0 0		\$0	UNKNOWN STATUS		BROWN STEEL CONTRACT

Valuation

	2019	2018	2017	2016
Previous Value	\$120,910	\$120,910	\$120,910	\$120,910
Land Value	\$120,910	\$120,910	\$120,910	\$120,910
+ Improvement Value	\$0	\$0	\$0	\$0
+ Accessory Value	\$0	\$0	\$0	\$0
= Current Value	\$120,910	\$120,910	\$120,910	\$120,910

No data available for the following modules: Rural Land, Conservation Use Rural Land, Residential Improvement Information, Commercial Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Permits, Septic Drawings, Photos, Sketches.

The Coweta County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

Developed by

Schneider
 GEOSPATIAL

Last Data Upload: 5/27/2019, 12:47:47 AM

Version 2.2.20

Development and Preservation Caldwell Tanks Site (D.8)

LONG TERM

7

This 5.5-acre site has existed in Newnan since 1877 – originally as the R.D. Cole Manufacturing Company and later known as Brown Steel. The site played a significant role over the last century in development of Newnan’s economy and the establishment of adjacent neighborhoods such as Coletown and Mill Village. Today’s owner, Caldwell Tanks, recently announced plans to move their shop operations to the company’s headquarters in Louisville, Kentucky.

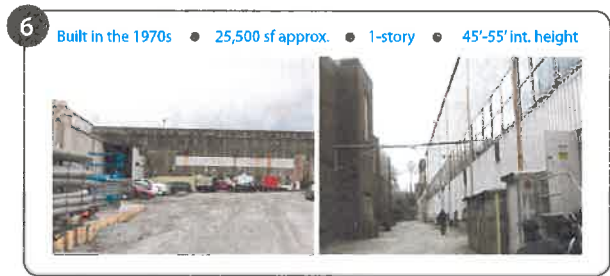
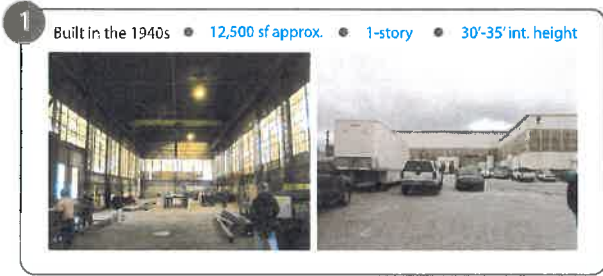
The company’s imminent move presents an incredible redevelopment opportunity as it is unusual to find such a large site in such close proximity to a Historic Downtown area. As part of the LCI, the team toured the site with

a team of planners, architects and historic preservation experts in order to assess site constraints/opportunities and conceptually document the general condition of existing structures and their potential ability to be adaptively re-used in the future.

As displayed in photographs to the right and described in more detail below, the site itself includes six structures that were constructed at various periods of time ranging from the late-1800s up through the 1970s. Some of these were simply additions to existing buildings and some are freestanding.



Figure 7e: Caldwell Tanks Site Existing Conditions



Building 1 – a large 1940s industrial structure with high ceilings and steel sash windows with unique exterior frontage along E. Broad Street. Although not currently a heated space, it presents an opportunity for adaptive re-use.

Building 2 – a 1960s addition to Building 3, its interior currently includes a series of office spaces. The building could potentially be removed in order to incorporate new uses within the site.

Building 3 – this late-1800s brick structure on the site's northeast corner is currently used as the operations office. This building is particularly relevant in its historic value and should be preserved and/or restored as part of any future redevelopment. All conceptual design plans on the following pages incorporate this building as an existing asset to the site's historic significance.

Building 4 – a three-story brick structure adjacent to the CSX railroad (currently used for various storage), presents an opportunity for adaptive re-use but will likely need significant structural/interior modifications.

Building 5 – as the largest structure on the site, this 1930s building includes very high ceilings, steel framing and large, continuous steel sash windows. Although the building's exterior needs improvement, its overall architectural character (both internally and externally) is extremely unique. The space is not currently heated, but could potentially be adapted internally by adding smaller heated spaces. Conceptual redevelopment scenarios shown on the following pages include multiple options for this building: either potentially demolished to make room for new construction OR as a repaired, re-used and celebrated historic component of the site.

Building 6 – a 1970s addition to Building 5, this large, open structure was used in the past for manufacturing activities and is currently used occasionally for filming activities. Due to its large size and central placement within the site, it may need to be removed in order to make new construction and associated parking more feasible.

As the largest and perhaps most significant long-term redevelopment opportunity within the entire LCI area, the Caldwell Tanks site's importance in the future of Downtown Newnan cannot be understated. Given the strong market opportunities for the LCI area (as noted previously), future uses of the Caldwell site could include a mix of different land uses that would capture a large portion of the area's longer-term retail and residential demands. A mixed-use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24-hour life and spending power, creating more of a critical mass of new residents in close proximity. The following redevelopment concept plans reflect these strong market projections while contemplating how the site's unique existing industrial character might be integrated with new buildings and uses.

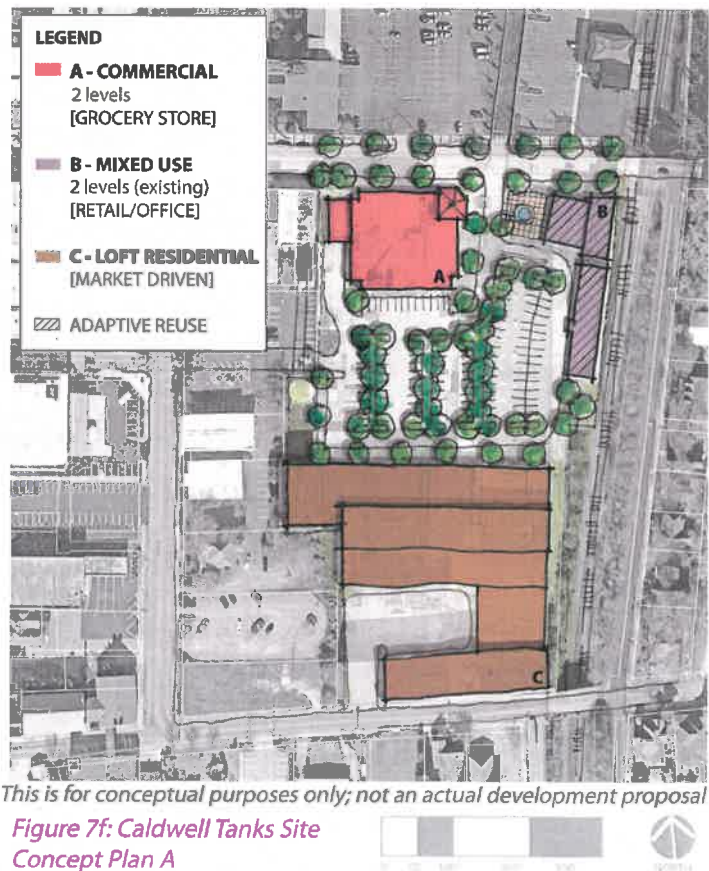
Concept A organizes a future development program within two "halves" of the site and includes a mix of new construction and adaptive re-use. Brick Masonry buildings around the northeast corner of the site would be renovated and include a mix of office and retail. A new two-level commercial building (possible small grocery or pharmacy - shown in red) replaces the existing "Building 1", taking advantage of the site's important frontage along E. Broad Street. The southern "half" of the site would retain the large existing "Building 5", adapted into a potential loft-style residential building. The center of the site in this scenario would include commercial loading and surface parking for all uses. (See Figure 7f)

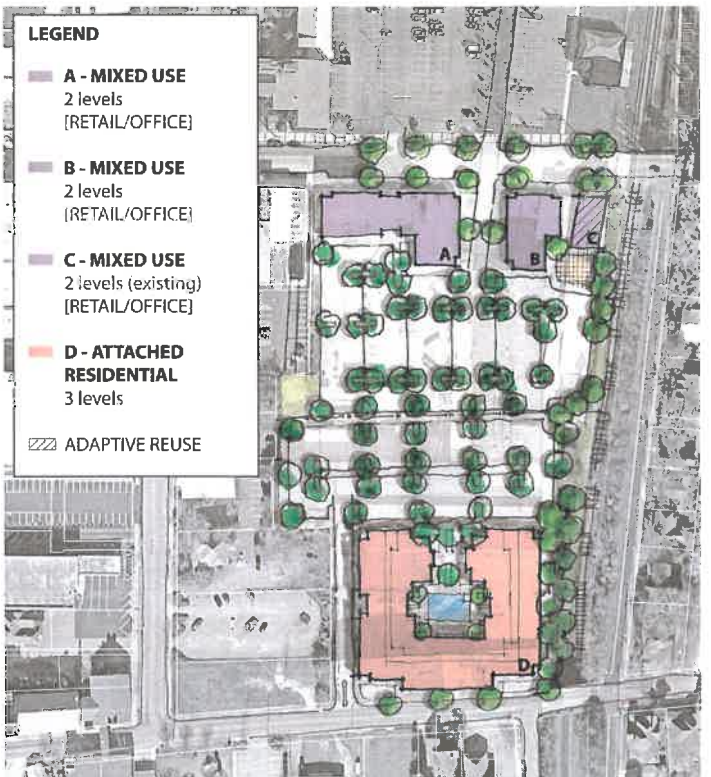
NOTE: Future uses for re-use of "Building 5" will be market-driven and likely vary widely. As such, other uses could include a mix of offices and/or studios that would be compatible with adjacent residential.

Concept B also organizes a future development program within two "halves" of the site, but with a majority of new construction and land uses. In this scenario, the E. Broad Street site



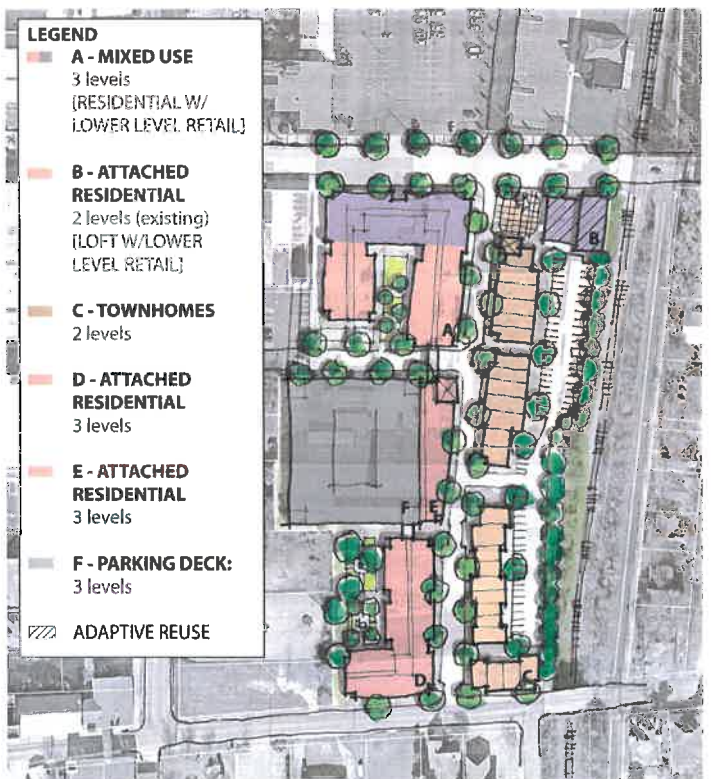
The LCI team toured the Caldwell Tanks site in December 2013





This is for conceptual purposes only; not an actual development proposal

Figure 7g: Caldwell Tanks Site Concept Plan B



This is for conceptual purposes only; not an actual development proposal

Figure 7h: Caldwell Tanks Site Concept Plan C

frontage would include new two-story mixed use buildings adjacent to renovation/re-use of existing “Building C” only. The new mixed-use would include ground-floor retail as a continuation of existing storefront retail to the west along E. Broad Street. The southern “half” of the site would demolish all existing manufacturing buildings and include a new three-story attached residential building with frontage along Saibide Avenue. Surface parking located within the middle of the site would be mostly hidden from street view given the site’s topography. (See Figure 7g)

Concept C embraces the opportunity of extending Andrew Street (between Bullsboro Drive and E. Broad), pulling the new street through this site to terminate at Saibide. Given the site’s existing limited street frontage to the north and south, proximity to the CSX railroad line to the east and adjacency to the rear of commercial parcels to the west, addition of a new street through the site creates more opportunity for additional street frontage and helps better-buffer adjacent uses. In this scenario, new mixed-use development would create retail frontage along E. Broad, adaptively re-use historic buildings (2, 3 and possibly 4) within the northeast sector of the site and create a mix of two and three-story attached residential buildings fronting the new street. Off-street parking would be within a new three-level parking “tray”, with a ground floor accessed via the new street and the upper floor accessed via a new connection to the west. There is also opportunity for the structured parking to include a mix of both private and public parking (possibly on dedicated floors), depending on future public parking demand. (See Figure 7h)

Overall, these development concepts are meant to illustrate only a few of the many potential options for the site. Considering the short-term market demands for the LCI area and the lack of urgency for a change of ownership, redevelopment of the Caldwell Tanks site is likely much longer-term as compared to other catalytic sites within the LCI area.



Figure 7i: Current condition at East Broad Street (looking west)



Figure 7j: Potential Improvements at East Broad Street (looking west)

Newnan City of Homes NOT City of Apartments!



1,344 have signed.

[Lynn Chapman](#) started this petition to Newnan City Council

I am passionate when it comes to defending things that matter to me – this matters a lot. My post is not intended to be offensive, accusatory, inflammatory, or divisive. This isn't a political or personal attack against anyone. To the best of my knowledge everything here is factual. It is my intention to provide an accurate accounting of information I have gained through either a conversation with a person identifying himself as a development company representative, information I came across while doing my own digging around online, or just common sense that we all have learned through experience.

The issue is: A sprawling 340-unit apartment complex that has been proposed to be built on property that is in our historic district.

A developer has a contract to purchase two parcels of land here in the historic district – the gravel lot between East Broad Street and Washington Street across from the train depot, and a more than five acre parcel known as the old R.D. Cole/Brown Steel/Caldwell Tank property

which is directly across the tracks and also across from the train depot. This property is bordered by East Broad Street, Perry Street, Thompson Street, and Salbide Avenue. The proposal includes apartment buildings on both properties, three and four-story buildings built five feet from the side walk, and a parking garage on the larger property along with the rental units.

How this unfolded:

As our daughters and I enjoyed a day of working in our yard on Friday, a gentleman walked onto our property and introduced himself as a representative of TRG, a development firm with a contract on two prominent properties within our downtown historic district known as Cole Town. The proposal is to build a sprawling 340-unit , multi-story apartment complex on both the gravel lot beside the railroad tracks on East Broad Street and the adjacent property known as the former R.D. Cole/Brown Steel/Caldwell Tank site which sits across the tracks and borders East Broad Street, Thompson Street, Perry Street, and Salbide Avenue. I was shocked to hear of such a massive project being planned right at my front door within the historic district. I am shocked that a project with such a potential to change the face of the downtown historic districts could remain so secretive that none of us knew about it. I did not go looking for trouble, but I feel I have to speak out and let others who own property in this area know what is being planned. In order to protect what I believe is a threat to our property values and our quality of life, I am speaking up respectfully to our elected officials and those responsible making such decisions and potential changes in zoning. I am not against development or change, but I am against this development. Rental property such as a sprawling apartment complex does not fit in the historic district of our downtown and will have a negative impact on the area now and for years to come. This project might be a good choice in a larger, more urban area such as Atlanta. Newnan's downtown historic district is not the same. Our historic downtown is charming and that is because of a mixture of beautiful architecture found in the homes and small businesses that make up our downtown. We don't have big box retail or high-density rental property in our downtown historic for good reason!

When we built our home two years ago, we adhered to guidelines that we were given to make our home fit into the historic district and we are proud to say people ask us if it was a remodel of a historic home. Since that time there have been many homes in our neighborhood that have been restored and a few more that have been built. Within this area there are beautiful historic homes of various size, construction of new homes and luxury townhomes, and tasteful renovations of storefronts – all of these designed to be cohesive and respectful of the historic district. New businesses have opened within our historic district. There is a distinct difference in all of these projects and large-scale rental property being built in our downtown historic districts. A proposal by one of our own local residents to renovate an existing property downtown to open an event center was denied initially. The project was eventually approved after the owner/developer made changes satisfying officials that it would be cohesive with the downtown historic district. The event center will be a wonderful addition to downtown Newnan. I have seen renderings and I have to say if this was a problem, I cannot fathom how this sprawling rental property of new construction could ever fit in since there is literally nothing like it anywhere in our historic downtown. A massive 340-unit rental property might be well-suited for larger, more urban areas such as Atlanta or Nashville where it is not unusual to find such high-density rental property or to find a big box retailer such as Publix or Staples on the corner. In Newnan, our larger retail

would be more like Arnall Grocery. That's the charm of living and shopping in our historic downtown.

Newnan is the "City of Homes," right? The magnificent homes, historic charm, excellent schools, and vibrant downtown were significant reasons why we chose to build our home in the downtown historic district we know as Cole Town. We love our neighborhood. We are not bothered by the train, the vacant lot or the empty R.D. Cole/Brown Steel/Caldwell Tank property. The building has historical significance. I would much rather look at it than a mega development of rental property and everything that comes with it. How could we even consider this in our historic district? A large rental apartment complex being built on two lots located squarely in the downtown Cole Town historic district, which is listed on the National Register of Historic Places, is no more appropriate than a big box store being built on the square. The downtown historic district of Newnan is rich in historic charm because of the preservation of our historic neighborhoods and business district. It is time to speak up. Will Newnan protect and preserve our downtown historic districts and our "City of Homes," or will we allow this sprawling apartment complex to be built within the historic district and become the "City of Rentals," instead? Do we want our historic charm to be preserved or do we want an aging rental property in the heart of our historic district?

I respect the right of the property owner to sell this property and a potential buyer's right to develop this property, however, any potential development must align with the downtown historic district and must meet specific criteria as required by the City of Newnan. As property owners, we have specific rights. The proposed development should not be a detriment to the property values and quality of life of others who live, work, and pay taxes here. Maintaining the integrity and charm of the downtown historic district is a responsibility of our elected officials and local zoning and planning. I believe making sure they do their job is our job as stakeholders who own homes and businesses here.

Both of these properties are located in the historic district, both are listed within the Cole Town Historic District on the National Register of Historic Places by the United States Department of the Interior. This is significant. Specific regulations apply regarding any demolition, construction, or repair.

If this sprawling apartment complex with three and four-story buildings and a parking deck is built, it will cause significant and lasting harm not only to my property values and that of my neighbor across the street. This project will impact all of us who own homes or businesses within the historic districts downtown as well as those who work, shop, eat, and drive nearby. Traffic, infrastructure, parking, and property values will all be affected. Emergency services will be affected. Schools will be affected. There are hard-working people here who have invested considerable time and money while working within the constraints of the downtown historic district to improve our properties and promote future improvement and growth. Literally no one in the "City of Homes" wants to see the downtown historic district become the "City of Rentals." Building this sprawling apartment development within the downtown historic district is the equivalent of building a big box store on the town square in the middle of the historic business district.

I feel I have done my due diligence to determine the potential impact of this development on my neighborhood. I am meeting with representatives from the development company Thursday evening. I will pass along any information they provide and any other information including meeting dates and our next steps in being heard.

Tracy Dunnavant

From: Scott Frederking <au@numail.org>
Sent: Sunday, June 02, 2019 4:26 PM
To: ggause@mac.com; psmith827@numail.org; rwc@numail.org; chris.hunt@bhhsgeorgia.com; joejr@crainoil.net; fredhamlin3@yahoo.com; cmcentire@jsmithlanier.com
Cc: Tracy Dunnavant; Cleatus Phillips; Hasco Craver; Scott Frederking
Subject: Proposed East Broad Street Apartments

This message was sent securely using Zix®

June 2, 2019

To the Honorable members of the Newnan Planning Commission:

I want to express my opposition to the proposed apartment project on the Caldwell Tanks property and especially the plan to construct a multi-story apartment structure plus parking on the one-acre lot at the entrance to the Coletown Historic District. The latter proposal to construct 48 apartment units on the same block as single-family residences in an historic district clearly shows a lack of interest on the part of the developers to be sensitive to our community's identity.

As you well know, the Newnan Mayor's Office, City Council, Planning Commission and Downtown Development Authority, among many others, have labored long and diligently to maintain a balance between Newnan's reputation as "The City of Homes" while facilitating a progressive environment. These ends are not mutually exclusive. Our city's historic character gives us a competitive advantage when recruiting employment and investment opportunities and it is paramount we maintain that character. Without exception, every comprehensive plan and report produced by the City over the past several decades gives primary emphasis to the history and sense of place provided by the city's historic districts and the great importance of maintaining that unique environment which allows Newnan to stand out among its peers. Allowing a multi-story complex of 340+ apartments and parking bunker with a handful of undefined retail spaces stands in stark contrast to the city's vision.

Please consider the following reports sanctioned by our city's leaders as references:

- City of Newnan Comprehensive Plan 2016-2036
- Urban Redevelopment Plan, City of Newnan, 2009

- Newnan Livable Centers Initiative June 19, 2014
- Business Development Plan 2017-2021, City of Newnan

There is no question the Caldwell property needs to be redeveloped. This is a once in a generation opportunity that can continue to help set Newnan apart. A truly bold and imaginative mixed-use project of single-family owner-occupied residential, retail and commercial use would be welcomed if the scale and scope is appropriate. Or we can just lower our sights to jump at the opportunity to build stacks of apartments which will be flipped to a buyer whose main concern is recouping its investment, with the very real possibility of Section 8 housing being part of the mix.

People have told me the deal is already done and there's no point in even trying to raise concerns. I don't believe it. Our leaders and professional staff are thoughtful people who will take their time to consider the project and agree it conflicts with the planning and visioning they've done so often through the years.

We can do much better than this. Newnan, "The City of Apartments", doesn't have a very good ring to it.

Very truly yours,

Scott Frederking

87 East Broad Street

Newnan, GA 30263

Tracy Dunnavant

From: John Young <jyoung@jybrealty.com>
Sent: Monday, May 20, 2019 4:03 PM
To: Tracy Dunnavant
Subject: Fwd: Letter to Editor

Tracy,below is a Letter to Editor I sent to NTH for publication.I live at 79 East Broad in the Frank B. Cole home,two houses up the street from the proposed 48 unit 3 story apartment building proposed for the one acre lot on East Broad in Historic Cole Town.

I have spoken with a couple of dozen homeowners in Cole Town--they all of course are opposed to an apartment building being built in Cole Town.I am amazed that this project for the one acre lot is even being considered.Why and how can a historic community of single family homes even be subjected to this type of proposed use?You cannot even imagine the stress and anger that is being expressed by Cole Town homeowners.Try to picture,for example,the Chapmans who just completed a Mitch Ginn-designed expensive home that is right across the street from this nightmare.All of us would be receptive to a low density residential development on the site such as cluster homes or even townhomes that evoke the history,architecture and scale of Historic Cole Town.We would love to see the LINC trailhead incorporated on the site as well.

John Young

----- Forwarded Message -----

Subject:Letter to Editor
Date:Wed, 15 May 2019 13:13:09 -0400
From:John Young <jyoung@jybrealty.com>
To:John Young <jyoung@jybrealty.com>

To Letters to the Editor Newnan Times Herald:

Averting a Tragedy

I am stunned and appalled that an out of town apartment developer would actually propose to build 48 apartment units in a three story building on the one acre lot on East Broad Street at the entrance to Historic Cole Town.This is an historic district of single family homes on relatively large lots with many homes of significant historical and architectural value.

The proposed development is of course part of a much larger proposed project in downtown Newnan that includes hundreds of apartment units and structured,deck parking,also evoking confusion and anger as well.

All one has to do is walk down East Broad Street to the entrance of Historic Cole Town and see that a large,monolithic apartment building is completely out of context for a single family community in an historic district.As a former developer of a dozen urban infill residential projects in historic districts,particularly in Tampa,I had to be constantly vigilant as to historic and architectural context.

What the site really needs is a park connected to the LINC trailhead and/or thoughtfully designed cluster homes in a limited number.

Let's avert a tragedy and do something much better for Newnan.

John Latimer Young 79 East Broad Street Newnan

--

John L. Young
Partner
Josey, Young & Brady Realty, LLC
75 Jackson Street, Ste 200
Newnan, GA 30263
Office: 770-683-1800
Cell: 404-386-1322
jyoung@jybrealty.com
www.jybrealty.com

Tracy Dunnivant

From: John Young <jyoung@jybrealty.com>
Sent: Tuesday, June 04, 2019 1:57 PM
To: Tracy Dunnivant
Subject: Cole Town Historic District and Residential Group Rezoning Application

Tracy, there is a concern that the entire 6.7 acre rezoning parcels are in The Cole Town Historic District--and is getting very little notice in this rezoning request that is part of a district on the National Register of Historic Places. The national register of course is the federal government's list of districts and structures deemed worthy of preservation for their historical significance. The National Historic Preservation Act of 1966 established the national register with the goal of preserving and protecting historic districts and structures. The Cole Town Historic District Register Nomination contains these basic tenets.

While any applicant has the right to request a rezoning within a historic district, however farfetched, this application (which actually includes building a three story building of 48 units in and at the entrance to Historic Cole Town, a community of mostly single family homes of architectural and historical significance) should be rejected out of hand.

The Caldwell Tanks/Cole properties should be developed in a thoughtful manner (no structured parking decks and monolithic apartment buildings) that blend into and enhance our cherished historic districts. We also need to be extremely careful about setting a negative rezoning precedent that could greatly diminish all of Newnan's six historic districts. After all, these districts and their beautiful structures are a reason many folks, including my family, live in Newnan in the first place. Newnan's many visitors are not in town to look at large apartment buildings and parking decks. The City of Homes needs to be protected for future generations.

--

John L. Young
Partner
Josey, Young & Brady Realty, LLC
75 Jackson Street, Ste 200
Newnan, GA 30263
Office: 770-683-1800
Cell: 404-386-1322
jyoung@jybrealty.com
www.jybrealty.com

Tracy Dunnavant

From: John Young <jyoung@jybrealty.com>
Sent: Tuesday, June 04, 2019 4:33 PM
To: Tracy Dunnavant
Subject: Re: Cole Town Historic District and Residential Group Rezoning Application

Tracy,FYI--An excerpt from Section VIII--"How to Apply the National Register Criteria for Evaluation,US Department of the Interior,National Park Service".

note: "A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of a historic environment.A component of a district cannot contribute to the significance if it has been substantially altered since the period of the district's significance or it does not share the historic associations of the district."

The Residential Group's rezoning application (with its large apartment buildings and structured parking garage) clearly would substantially alter the district and does not share the historic associations of the district.I do not believe that city staff,planning board and city council would really want to put the City of Newnan in jeopardy of seriously compromising or possibly losing a historic district.

On 6/4/2019 3:17 PM, Tracy Dunnavant wrote:

> Mr. Young,

>

> Thank you for providing this information. I will include your email with the other materials that will be provided to the Planning Commission as part of their agenda packet.

>

> Please let me know if I can be of further assistance.

>

> Tracy

>

>

> Tracy S. Dunnavant

> Planning & Zoning Director

> City of Newnan

> 25 LaGrange Street

> Newnan, Georgia 30263

> (770) 254-2354 ext. 4

> www.ci.newnan.ga.us

>

>

> -----Original Message-----

> From: John Young [mailto:jyoung@jybrealty.com]

> Sent: Tuesday, June 04, 2019 1:57 PM

> To: Tracy Dunnavant <TDunnavant@cityofnewnan.org>

> Subject: Cole Town Historic District and Residential Group Rezoning

> Application

>

> Tracy,there is a concern that the entire 6.7 acre rezoning parcels are in The Cole Town Historic District--and is getting very little notice in this rezoning request that is part of a district on the National Register of Historic Places.The national register of course is the federal government's list of districts and structures deemed worthy of preservation for their historical significance.The National Historic Preservation Act of 1966 established the national register with the goal of preserving and protecting historic districts and structures.The Cole Town Historic District Register Nomination contains these basic tenets.

>

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>

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>

> --

> John L. Young

> Partner

> Josey, Young & Brady Realty, LLC

> 75 Jackson Street, Ste 200

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> Cell: 404-386-1322

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>

--

John L. Young

Partner

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BROAD STREET FORUM, INC.
The Residential Group
Tract I, 5.603 acres, located on East Broad Street
Land Lot 25, 5th Land District
Coweta County, Georgia
Tax Parcels #N04 0010 006

**ORDINANCE TO AMEND THE ZONING MAP FOR PROPERTY
LOCATED ON EAST BROAD STREET, BEING TRACT I, CONTAINING 5.603
ACRES, LAND LOT 25, OF THE FIFTH LAND DISTRICT, IN THE CITY OF
NEWMAN, GEORGIA**

WHEREAS, the owners have filed an application for rezoning of the property described on the revised Exhibit "A" attached hereto and by reference made a part hereof from CBD (Central Business District) to MXD (Mixed Use Development District) with proffered conditions; and

WHEREAS, in accordance with the requirements of the City Zoning Ordinance, the Planning Commission of the City of Newnan has forwarded its recommendation to the City Council; and

WHEREAS, pursuant to said requirements of the City Zoning Ordinance, the City Council has conducted a properly advertised public hearing on the rezoning application not less than 15 nor more than 45 days from the date of publication of notice, which public hearing was held on the 16th day of July, 2019; and

WHEREAS, following the public hearing, it was determined by the City Council that it would be in the best interest of residents, property owners and citizens of the City of Newnan and the owner of the property described on the attached revised Exhibit "A" that the public hearing be continued to dates certain for additional public hearings to be held concerning the rezoning application, which public hearings were held on July 25, 2019 and August 6, 2019; and

WHEREAS, the vote on the rezoning application was continued to the City Council's regular meeting on August 27, 2019; and

WHEREAS, after the above-referenced public hearing and additional public hearings, the City Council has determined the re-zoning of the property would be in the best interest of the residents, property owners and citizens of the City of Newnan, Georgia; and

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Newnan, Georgia, that the Zoning Map of the City of Newnan be revised as follows:

Section I. That the property described on Exhibit "A" attached hereto and by reference made a part hereof being Tract I, containing 5.603 acres, Land Lot 25, of the 5th Land District be rezoned as MXD (Mixed Use Development District) subject to the conditions which follows:

1. The project will be subject to a developer's agreement being executed by the applicant to ensure consistency with the concept plan, density, project data and architectural details as provided as part of the application which submittals are expressly incorporated herein and made a part hereof as if attached hereto.
2. The development will utilize architectural guidelines and covenants to ensure a quality product.
3. The development on the 5.603 acre, Tract I, shall include and be limited to the following:

(a) The site shall be limited to a maximum of 285 luxury apartment units divided into studio or 1 bedroom units and 2 bedroom units and a minimum of 503 total parking spaces as set out hereinbelow:

- (1) A minimum of 503 total parking spaces (residential: 1 space per bedroom + 24% of the required bedroom total for guest/commercial spaces and calculated in paragraphs (2), (3) (4).
- (2) 165 studio or 1 bedroom units = 165 parking spaces
- (3) 120 / 2 bedroom units = 240 parking spaces
- (4) Guest/commercial spaces= 98 parking spaces

(b) The site shall also include commercial spaces as set out hereinbelow:

- (1) 5,600 sf of adaptive reuse – older R.D. Cole office along the railroad
 - (2) 13,500 sf of adaptive reuse-existing warehouse behind the R.D. Cole office along the railroad
4. The non-residential uses on the property will be limited to those uses allowed in the Central Business District.
 5. The apartments proposed on the 5.603 acre Tract I and fronting on East Broad Street shall be limited to three stories in height.

Section II. All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance hereby are repealed.

Section III. This ordinance shall be effective upon adoption.

DONE, RATIFIED, and PASSED, by the City Council of the City of Newnan, Georgia, this the _____ day of _____, 2019 in regular session assembled.

ATTEST:

L. Keith Brady, Mayor

Della Hill, City Clerk

Cynthia E. Jenkins, Mayor Pro-Tem

REVIEWED AS TO FORM:

C. Bradford Sears, Jr., City Attorney

George M. Alexander, Councilmember

Cleatus Phillips, City Manager

Raymond F. DuBose, Councilmember

Rhodes H. Shell, Councilmember

Dustin Koritko, Councilmember

Paul Guillaume, Councilmember

EXHIBIT "A"

LEGAL DESCRIPTION
REVISED

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract 1 containing 5.603 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr. G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

FILED IN OFFICE
 CLERK OF SUPERIOR COURT
 2002 SEP 27 AM 11:13
 COMETA COUNTY, GA

LEGEND
 I.P.S. = IRON PIN SET
 L.P.S. = LEASING POINT
 S.P. = SURVEY POINT
 S.P. = SURVEY POINT
 S.P. = SURVEY POINT

THIS MAP WAS CALCULATED
 FROM THE DATA OBTAINED
 FROM THE FIELD SURVEY
 AND IS NOT TO BE USED
 FOR ANY OTHER PURPOSE
 WITHOUT THE WRITTEN
 CONSENT OF THE SURVEYOR

TOPON TOTAL STATION
 USED

THE FIELD DATA ON
 THIS MAP WAS OBTAINED
 FROM THE DATA OBTAINED
 FROM THE FIELD SURVEY
 AND IS NOT TO BE USED
 FOR ANY OTHER PURPOSE
 WITHOUT THE WRITTEN
 CONSENT OF THE SURVEYOR

TRACT II
 LEGAL DESCRIPTION
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN
 LAND LOT 25 LAND DISTRICT 5 OF COMETA COUNTY, GEORGIA
 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
 BEGINNING AT AN IRON PIN SET AT THE INTERSECTION OF
 THE NORTH RIGHT OF WAY OF EAST BROAD STREET AND THE
 EAST RIGHT OF WAY OF THE ATLANTA AND WEST POINT RAILROAD
 THENCE GO N 07°49'21" E FOR 249.45' ALONG THE EAST RIGHT
 OF WAY OF EAST WASHINGTON STREET; THENCE GO S 83°47'31" E
 FOR 182.53' ALONG THE SOUTH RIGHT OF WAY OF EAST
 WASHINGTON STREET TO AN IRON PIN FOUND; THENCE GO
 S 05°57'35" W FOR 244.60' TO AN IRON PIN FOUND AT THE
 NORTH R/W OF EAST BROAD; THENCE GO ALONG THE NORTH
 RIGHT OF WAY OF EAST BROAD STREET N 85°12'55" W
 FOR 192.50' AND THE POINT OF BEGINNING.
 TRACT II CONTAINING 1.064 ACRES

TRACT I
 LEGAL DESCRIPTION
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN
 LAND LOT 25 LAND DISTRICT 5 OF COMETA COUNTY, GEORGIA
 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
 BEGINNING AT AN IRON PIN FOUND AT THE INTERSECTION OF
 THE SOUTH RIGHT OF WAY OF EAST BROAD AND THE WEST RIGHT
 OF WAY OF THE ATLANTA AND WEST POINT RAILROAD AND FROM
 SAID POINT OF BEGINNING GO S 11°44'46" W FOR 288.89' ALONG
 SAID RAILROAD RIGHT OF WAY TO A JOINT IN WALL OF BUILDING
 THENCE GO N 80°19'30" W FOR 40.76' TO AN IRON PIN SET;
 THENCE CONTINUING ALONG SAID RAILROAD R/W S 05°41'08" W
 FOR 387.62' TO AN IRON PIN SET AT THE NORTH RIGHT OF
 WAY OF SALBIDE AVENUE; THENCE GO N 88°58'37" W FOR 297.20'
 ALONG THE NORTH RIGHT OF WAY OF SALBIDE AVE. TO AN
 IRON PIN SET; THENCE LEAVING SAID RIGHT OF WAY GO
 N 05°19'30" E FOR 176.00' TO AN IRON PIN FOUND; THENCE GO
 N 88°27'15" W FOR 80.79' TO AN IRON PIN SET; THENCE GO
 N 07°40'32" E FOR 98.48' TO AN IRON PIN FOUND; THENCE
 GO N 05°20'00" E FOR 62.00' TO AN IRON PIN SET; THENCE
 GO S 05°23'01" E FOR 51.88' TO A FENCE CORNER; THENCE GO
 S 83°19'18" E FOR 46.61' TO A FENCE CORNER; THENCE GO
 N 08°31'44" E FOR 116.25' TO AN IRON PIN SET; THENCE
 GO N 05°50'10" E FOR 133.59' TO AN IRON PIN FOUND AT
 THE SOUTH RIGHT OF WAY OF EAST BROAD STREET; THENCE
 GO S 83°46'05" E ALONG THE SOUTH RIGHT OF WAY OF
 EAST BROAD STREET FOR 388.27' TO THE POINT OF
 BEGINNING.
 TRACT I CONTAINING 5.603 ACRES

ALTA/ACSM LAND TITLE SURVEY
BROAD STREET FORUM, INC.
 LOCATED IN THE CITY OF NEWMAN
 LAND LOT 25 LAND DISTRICT 5
 COMETA COUNTY, GEORGIA

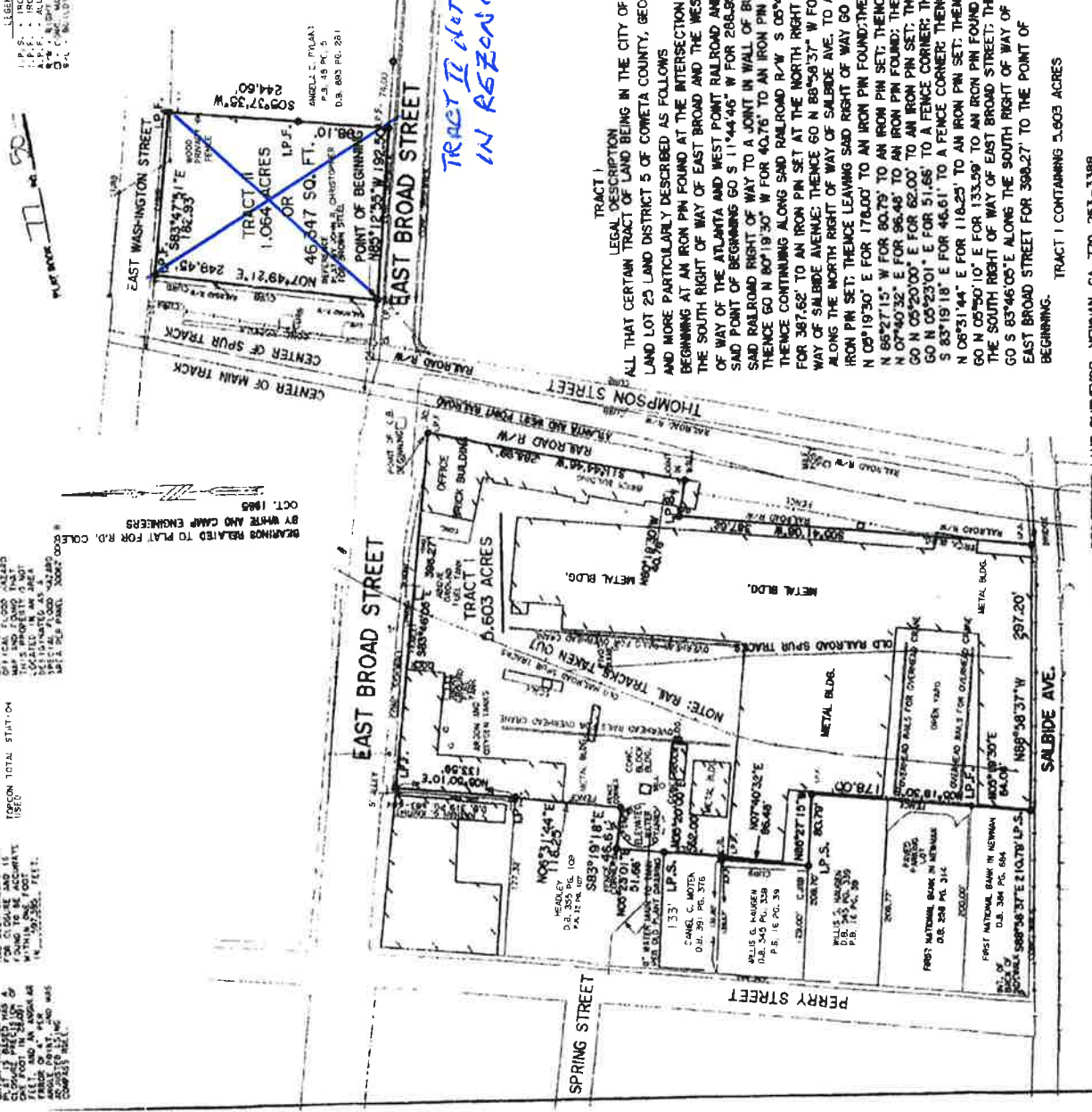
*TRACT II NOT INCLUDED
 IN REZONING*

SCALE: 1" = 80'
 80 0 80 160 240
 GRAPHIC SCALE - FEET
 SEPTEMBER 24, 2002

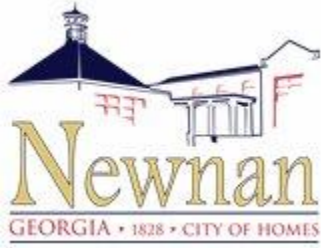
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THIS SURVEY
 ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH
 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM
 LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY
 ALTA AND ACSM IN 1982, AND INCLUDES ITEMS
 1, 2, 3, 4, 6, 8, AND 10 OF TABLE A
 THEREOF, AND PURSUANT TO THE ACCURACY STANDARDS (AS
 ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF
 THIS CERTIFICATION) AN URBAN SURVEY.

DATE: 09/24/02
 1975
 REGISTRATION NO.

W.W. FLOWERS, JR. REGISTERED LAND SURVEYOR
 NEWMAN, GA. 770-253-3388
 FAX 254-1455



City of Newnan, Georgia - Mayor and Council



Date: August 27, 2019
Agenda Item: 6 Glenn St, Newnan, Ga 30263
Prepared and Presented by:
Matt Murray, Code Enforcement Officer
Submitted by: Bill Stephenson, Chief Building Official

Purpose: To conduct a public hearing concerning the dilapidated structure located at 6 Glenn St, Newnan, Ga 30263

Background: Owner: Eyesight Capital LLC (foreclosure)

Date Sub-Standard housing file was opened: April 25, 2018.
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On April 25, 2018 the Building Department conducted an inspection of the premises. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 4, 5, 6, 8, 9, 10).

Options:

1. Adopt a resolution directing the property owner to either repair or demolish the structure within forty five (45) days.
2. Other direction from Council.

Funding: Not Applicable

Recommendation: Staff is requesting Council's approval to proceed with Option 1.

Previous Discussions with Council:

May 28, 2019 – Council informed of conditions.

July 16, 2019 – Public Hearing was requested.





After recording please return to:
Della Hill, City of Newnan
25 LaGrange Street
Newnan, GA 30263

RESOLUTION

IN RE: Tikkun Olam, LP
 6 Glenn Street
 Newnan, Georgia 30263
 Deed Book 4847 page 93

Lien Holders:
Coweta County Tax Commissioner
City of Newnan

WHEREAS, the property of Tikkun Olam, LP located at 6 Glenn Street, Newnan, Georgia 30263, in the City of Newnan was alleged by the Building Official of the City to be an unsafe building, as defined by an Ordinance adopted by the Mayor and Council on October 10, 1977; and,

WHEREAS, a hearing was set for the Mayor and Council to determine in accordance with the provisions of such Ordinance whether such building was in fact an unsafe building, as defined in such Ordinance and/or that the same was unsafe to the extent that it should be demolished or repaired; and,

WHEREAS, notice of such hearing was given to the owner, lien holder and tenant, if any, as required by such Ordinance, and all other provisions of the Ordinance have been complied with;

NOW THEREFORE, the Mayor and Council of the City of Newnan, after hearing evidence upon the question of whether such building is an unsafe building as defined by the Ordinance of the City of Newnan, do hereby determine that the building of Tikkun Olam, LP located at 6 Glenn Street, Newnan, Georgia 30263, should be repaired or demolished, and the owner thereof is given _____ (_____) days within which to repair or demolish and remove the same;

RESOLVED FURTHER, that in the event the owner shall fail to repair or demolish and remove the same within the period of _____ (_____) days herein fixed, the Building Official of the City of Newnan is hereby ordered to repair or demolish and remove the same, and to prepare an itemization of the cost of such repair or demolition and removal, and deliver such itemization to the Clerk of the City of Newnan, who is ordered to issue an execution against the owner for the total cost of such repair or demolition and removal, which execution shall constitute a lien against such real estate as of the date of this resolution - all in accordance with the Ordinances of the City of Newnan.

ADOPTED AND APPROVED by the Mayor and Council of the City of Newnan this
___ day of _____, 2019.

ATTEST:

Della Hill, City Clerk

REVIEWED AS TO FORM:

C. Bradford Sears, Jr., City Attorney

Cleatus Phillips, City Manager

L. Keith Brady, Mayor

Cynthia E. Jenkins, Mayor Pro-Tem

George M. Alexander, Councilmember

Raymond F. DuBose, Councilmember

Rhodes H. Shell, Councilmember

Dustin Koritko, Councilmember

Paul Guillaume, Councilmember

IN RE: Tikkun Olam, LP
6 Glenn Street
Newnan, Georgia 30263
Deed Book 4847 page 93

Lien Holders:
Coweta County Tax Commissioner
City of Newnan

GEORGIA, COWETA COUNTY:

The requirements of the resolution of the Mayor and Council of the City of Newnan adopted on the ____ day of _____, 2019 and recorded in Deed Book _____, Page _____ of the Deed Records of Coweta County, Georgia relating to property located at 6 Glenn Street in the City of Newnan, Georgia having been complied with, the Clerk of Superior Court is authorized to enter this satisfaction thereof of record.

This ____ day of _____, 2019.

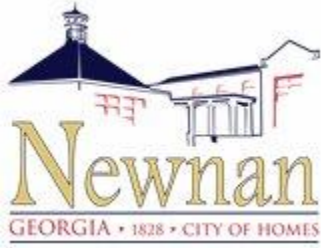
CITY OF NEWNAN

By: _____
Building Official

Attest: _____
Clerk

[SEAL]

City of Newnan, Georgia - Mayor and Council



Date: August 27, 2019
Agenda Item: 8 Glenn St, Newnan, Ga 30263
Prepared and Presented by:
Matt Murray, Code Enforcement Officer
Submitted by: Bill Stephenson, Chief Building Official

Purpose: Agenda item for public hearing to repair or demolish dilapidated structure located at 8 Glenn St Newnan, GA 30263 continued until September 24, 2019 due a recent change in ownership.

Background: Owner: Eyesight Capital LLC (property sold)

Date Sub-Standard housing file was opened: June 20, 2018.
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On June 20, 2018 the Building Department conducted an inspection of the premises. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 4, 5, 6, 8, 9, 10).

Options:

1. Adopt a resolution directing the property owner to either repair or demolish the structure within forty five (45) days.
2. Other direction from Council.

Funding: Not Applicable

Recommendation: Staff is requesting Council's approval to proceed with Option 1.

Previous Discussions with Council:

May 28, 2019 – Council informed of conditions.

July 16, 2019 – Public Hearing was requested.





City of Newnan, Georgia - Mayor and Council



Date: August 27, 2019
Agenda Item: 100 Sprayberry Rd, Newnan, Ga 30263
Prepared and Presented by:
Matt Murray, Code Enforcement Officer
Submitted by: Bill Stephenson, Chief Building Official

Purpose: To conduct a public hearing concerning the dilapidated structure located at 100 Sprayberry Rd, Newnan, Ga 30263

Background: Owner: Edwin Jean-Pierre
Date Sub-Standard housing file was opened: September 26, 2016.
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**
On May 28, 2018 the Building Department conducted an inspection of the premises. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 4, 5, 6, 8, 9, 10).

Options:

1. Adopt a resolution directing the property owner to either repair or demolish the structure within forty five (45) days.
2. Other direction from Council.

Funding: Not Applicable

Recommendation: Staff is requesting Council's approval to proceed with Option 1.

Previous Discussions with Council:

May 28, 2019 – Council informed of conditions.

July 16, 2019 – Public Hearing was requested.



After recording please return to:
Della Hill, City of Newnan
25 LaGrange Street
Newnan, GA 30263

RESOLUTION

IN RE: Sprayberry Road Land Trust # 100 Lien Holders:
 100 Sprayberry Road Coweta County Tax Commissioner
 Newnan, Georgia 30263 City of Newnan
 Deed Book 4067 page 500

WHEREAS, the property of the Sprayberry Road Land Trust # 100 located at 100 Sprayberry Road, Newnan, Georgia 30263, in the City of Newnan was alleged by the Building Official of the City to be an unsafe building, as defined by an Ordinance adopted by the Mayor and Council on October 10, 1977; and,

WHEREAS, a hearing was set for the Mayor and Council to determine in accordance with the provisions of such Ordinance whether such building was in fact an unsafe building, as defined in such Ordinance and/or that the same was unsafe to the extent that it should be demolished or repaired; and,

WHEREAS, notice of such hearing was given to the owner, lien holder and tenant, if any, as required by such Ordinance, and all other provisions of the Ordinance have been complied with;

NOW THEREFORE, the Mayor and Council of the City of Newnan, after hearing evidence upon the question of whether such building is an unsafe building as defined by the Ordinance of the City of Newnan, do hereby determine that the building of Sprayberry Road Land Trust # 100 located at 100 Sprayberry Road, Newnan, Georgia 30263, should be repaired or demolished, and the owner thereof is given _____ (_____) days within which to repair or demolish and remove the same;

RESOLVED FURTHER, that in the event the owner shall fail to repair or demolish and remove the same within the period of _____ (_____) days herein fixed, the Building Official of the City of Newnan is hereby ordered to repair or demolish and remove the same, and to prepare an itemization of the cost of such repair or demolition and removal, and deliver such itemization to the Clerk of the City of Newnan, who is ordered to issue an execution against the owner for the total cost of such repair or demolition and removal, which execution shall constitute a lien against such real estate as of the date of this resolution - all in accordance with the Ordinances of the City of Newnan.

ADOPTED AND APPROVED by the Mayor and Council of the City of Newnan this
___ day of _____, 2019.

ATTEST:

Della Hill, City Clerk

L. Keith Brady, Mayor

REVIEWED AS TO FORM:

Cynthia E. Jenkins, Mayor Pro-Tem

C. Bradford Sears, Jr., City Attorney

George M. Alexander, Councilmember

Cleatus Phillips, City Manager

Raymond F. DuBose, Councilmember

Rhodes H. Shell, Councilmember

Dustin Koritko, Councilmember

Paul Guillaume, Councilmember

IN RE: Sprayberry Road Land Trust # 100 Lien Holders:
 100 Sprayberry Road Coweta County Tax Commissioner
 Newnan, Georgia 30263 City of Newnan
 Deed Book 4067 page 500

GEORGIA, COWETA COUNTY:

The requirements of the resolution of the Mayor and Council of the City of Newnan adopted on the ____ day of _____, 2019 and recorded in Deed Book _____, Page _____ of the Deed Records of Coweta County, Georgia relating to property located at 100 Sprayberry Road in the City of Newnan, Georgia having been complied with, the Clerk of Superior Court is authorized to enter this satisfaction thereof of record.

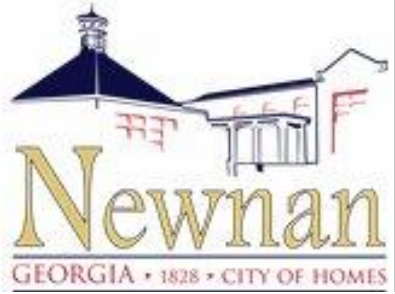
This ____ day of _____, 2019.

CITY OF NEWNAN

By: _____
Building Official

Attest: _____
Clerk

[SEAL]



City of Newnan, Georgia - Mayor and Council

Date: August 27, 2019

Agenda Item: 15 Elm Cir

Prepared and
Presented by: Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

Purpose: Agenda item to repair or demolish continued from July 16 council meeting for structure located at 15 Elm Cir.

Background: Owner: Mary Jean Payne estate c/o Jeffrey Donald Payne Executor

Date Sub-Standard housing file was opened: July 12, 2018

Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On November 28, 2018 the Building Department conducted an inspection of the premises and found the structure to be unsafe, uninhabitable. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 5, 6, 7, 8, 9, 10).

Options:

1. To review the owners request for an extension.
2. Other direction from council.

Funding: Not Applicable

Recommendation: Staff is requesting Council's approval to proceed with Option 1.

**Previous Discussions
With Council:**

February 20, 2019 – Info only provided to council.

April 23, 2019 – Public hearing was held and item agenda item to repair or demolish was continued until council meeting on June 18, 2019.

June 18, 2019 – Item continued until July 16, 2019 council meeting due to a Petition of Removal filing concerning executor.

July 16, 2019 – Item continued until August 27, 2019 council meeting due to a petition of removal filing.





City of Newnan, Georgia - Mayor and Council

Date: August 27, 2019

Agenda Item: 180 West Washington St

Prepared and
Presented by: Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

Purpose: Owner to request an extension in order to complete repairs to the structure located at 180 West Washington St.

Background: Owner: Render Godfrey

Date Sub-Standard housing file was opened: July 13, 2016

Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On July 13, 2016 the Building Department conducted an inspection of the premises and found the structure to be unsafe, uninhabitable. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (1,2,3,4,5,6,8,9,10).

Options:

1. To approve the owners request for an extension.
2. Other direction from council.

Funding: Not Applicable

Recommendation: Staff is requesting Council's approval to proceed with Option 1.

Previous Discussions with Council:

August 1, 2017 – Council informed of conditions.

August 8, 2017 – Public Hearing was requested.

August 22, 2017 – Public Hearing Held

September 12, 2017 – 180 Extension Granted

October 9, 2017 – No Progress

November 14, 2017 - No Progress

December 12, 2017 - No Progress

January 9, 2018 – Interior progress

February 13, 2018 – Interior progress

March 15, 2018 – 180 Extension Granted

April 10, 2018 - Interior progress

May 7, 2018 - Interior progress

June 19, 2018 - Interior progress

July 17, 2018 - Interior progress

August 14, 2018 - Interior progress

October 8, 2018 – Exterior progress

November 13, 2018 – No progress

December 11, 2018 – Interior and exterior progress

January 8, 2019 – Interior and exterior progress

March 11, 2019 – 180 day extension granted

April 9, 2019 – Exterior progress

May 7, 2019 – Exterior progress

June 18, 2019 – No progress

July 16, 2019 – No progress

August 13, 2019 – No Progress





CITY COUNCIL MEETING AUGUST 27, 2019

The Honorable Keith Brady
Mayor of Newnan
25 Lagrange St
Newnan, GA 30263

Dear Mayor Brady,

My name is Tracy Lewis and I am a member of Delta Sigma Theta Sorority, Inc. Troup-Coweta Alumnae Chapter. Delta Sigma Theta is a private, not for-profit organization whose purpose is to provide assistance and support through established programs in local communities throughout the world. It was founded on January 13, 1913 by twenty-two collegiate women at Howard University. The Troup-Coweta Alumnae Chapter of Delta Sigma Theta Sorority Inc., has supported and served Troup-Coweta area for more than 30 years through a variety of diverse programs and activities focused on the sorority's Five-Point Programmatic Thrust. The Five-Point Programmatic Thrust consist of: Economic Development, Physical and Mental Health, Educational Development, Political Awareness and Involvement and International Awareness and Involvement. The members of our Alumnae chapter fundraises each year to fund scholarships and support charities and other community services. We look forward to another 30 years of serving our communities.

I write this letter to seek permission to hold our annual iSweat Red 5K Walk/Run in downtown Newnan. The race will begin at the court house square and ending at Greenville Street park, where there will be vendors to conduct health screenings and a kid's zone. The iSweat RED is an initiative to promote physical and mental health awareness in the community by educating and encouraging community members to take an active role in their health. Each year Troup-Coweta Alumnae Chapter awards \$12,000 in scholarships. The funds raised will go toward scholarships for young ladies who are high school seniors from both Troup and Coweta County and is based on academic excellence and achievements. iSweat Red Walk/Run is scheduled for March 28th, 2020.

Thank you for your service to our community and your attention to this matter.

Very Respectfully,
Tracy Lewis
Ph.D., MHA
Delta Sigma Theta Sorority, Inc.,
Troup- Coweta alumnae Chapter

Tracy Lewis Ph.D., M.H.A
Public Health Advisor
Division of State and Local Readiness
Centers for Disease Control and Prevention
1600 Clifton Road, MS-D75
Atlanta, GA 30329
404-639-3901 (o)
404-713-0154 (bb)
lls7@cdc.gov
Telework: Mon, Thurs & Fri



GUIDELINES FOR USING DOWNTOWN NEWNAN SQUARE OR ANY CITY STREETS

NAME OF AGENCY	Delta Sigma Theta Sorority, INC Troup Coweta Alumnae Chap
NAME OF PERSON IN CHARGE OF EVENT	Tracy Lewis
ADDRESS OF PERSON IN CHARGE	10 Springwater Way Newnan, GA 30265
CELL PHONE NUMBER OF PERSON IN CHARGE	678-471-2033
TYPE OF EVENT	5K Run/Walk
PURPOSE OF EVENT	Raise funds for scholarship of seniors in TROUP & Coweta County
DATE OF EVENT	March 28, 2020
TIME OF EVENT	7-10 am

CONDITIONS OF PERMIT

If permit is for any type utilizing streets of the city other than just the square area, a map shall be submitted to indicate routes of the event. If road race, walk or similar event, a fee will be charged based on number of police officers required to provide safety for the event; and all events of this type should be scheduled to end by 10:00 AM. If officers are required for other events, a fee will be charged based on number of officers requested by agency sponsoring event.

Applicants for permits for the square area only which require the setting of booths or selling goods should be aware that homegrown or handmade goods are preferred and that other goods sold should not be in conflict with goods that merchants on the square have for sale, excluding restaurant style prepared food items. Personal information from those attending the event should not be solicited. Subscription based businesses, home improvement companies, insurance companies, etc., that approach those attending the event for solicitation for future services are not allowed. It is recommended that a 10x10 booth space be assigned to each participant with the participants name written in chalk at each sidewalk location. Permanent marking on the square is not allowed. You must provide your own tent, chairs and tables. If your event requires electricity, it must be requested in advance. If it is used from the light poles, then the cover must be put back on after the event. If a cover is lost the event coordinator and vendor are liable for the cost of replacing the lost cover. All cords must be duct taped down to the sidewalks to prevent accidents.

EVENT STAFFING

The coordinator of the event on the square must remain on site throughout the set up and clean up of the event. The event coordinator must make sure that the square is returned to normal after the event is over.

GARBAGE

Additional rolling trash cans by the City of Newnan Sanitation Department need to be around the court square. Contact Sanitation Services at 770-253-0327 to coordinate and determine the number of cans needed for your event. We recommend that you cover the permanent cans surrounding the square and use the rolling cans. If the decorative cans are overflowing at the end of the event, they should be emptied into the rolling cans. Cost of Sanitation cans are \$10.00 per can during normal business hours and \$25.00 per can after hours. *(Costs are subject to change)*

PUBLIC NOTICE SIGNAGE

The coordinator of the event is responsible for obtaining and displaying Special Event Notice signs as provided by City staff. Public notice along/near the event location shall be provided at least 72 hours in advance of the event.

BATHROOMS

A portable restroom, or more depending on the size of the event, must be provided for the public to use. Downtown shops only allow restroom facilities to be used by paying customers. Main Street can assist with contact information on a Main Street member that provides port-a-potties for a fee. We recommend these be placed on the side of NuLink on West Washington Street.

PARKING

Vendors can park on the square to unload, but once unloaded they will need to move their vehicles to a city lot. Parking on the square or in front of stores is prohibited. This includes on side streets. Parking is for customers and event attendees.

AGREEMENT

I, Tracy Lewis, agree to these guidelines for use of the Newnan Square and/or city streets.

SIGNED Nancy Olem

DATE July 17, 2019

EVENT - 100.00.34.2901 – Event Activity Fees

City Council Meeting – August 27, 2019

From: social@summergrovepoa.org

Sent: Friday, August 09, 2019 5:15PM

To: Libby Winn

CC: Darcy Beardsley

Subject: Approval for Posting of Signs

Mayor and City Council,

Summergrove POA is requesting city approval for the posting of signs and/or banners at the entrances of our neighborhood on Lower Fayetteville Rd, the main entrance at Shenandoah, the East Lake entrance on Lower Fayetteville Rd, as well as the East Lake entrance on Mary Freeman on the following dates:

September 5 – 7 for Neighborhood Yard Sale

November 9 – 12 for Military Heroes

Thank you,

Karen Hildebran

Summergrove Social Committee Chair



NEWNAN HIGH SCHOOL
ATHLETIC DEPARTMENT
Home of the Cougars



190 LaGrange Street • Newnan, GA 30263 • 770-254-2886

August 16, 2019

Mr. Cleatus W. Phillips, City Manager
City of Newnan
P.O. Box 1193
Newnan, GA. 30264

Dear Mr. Phillips,

The purpose of this letter is to request a permit for **Newnan High School** to conduct our annual **Homecoming Parade and Pep Rally at the Greenville Street Park**. Plans are for this year's parade to be held on **Thursday, October 10th, 2019** leaving Newnan High School, Armory Road at **5:30 p.m.**

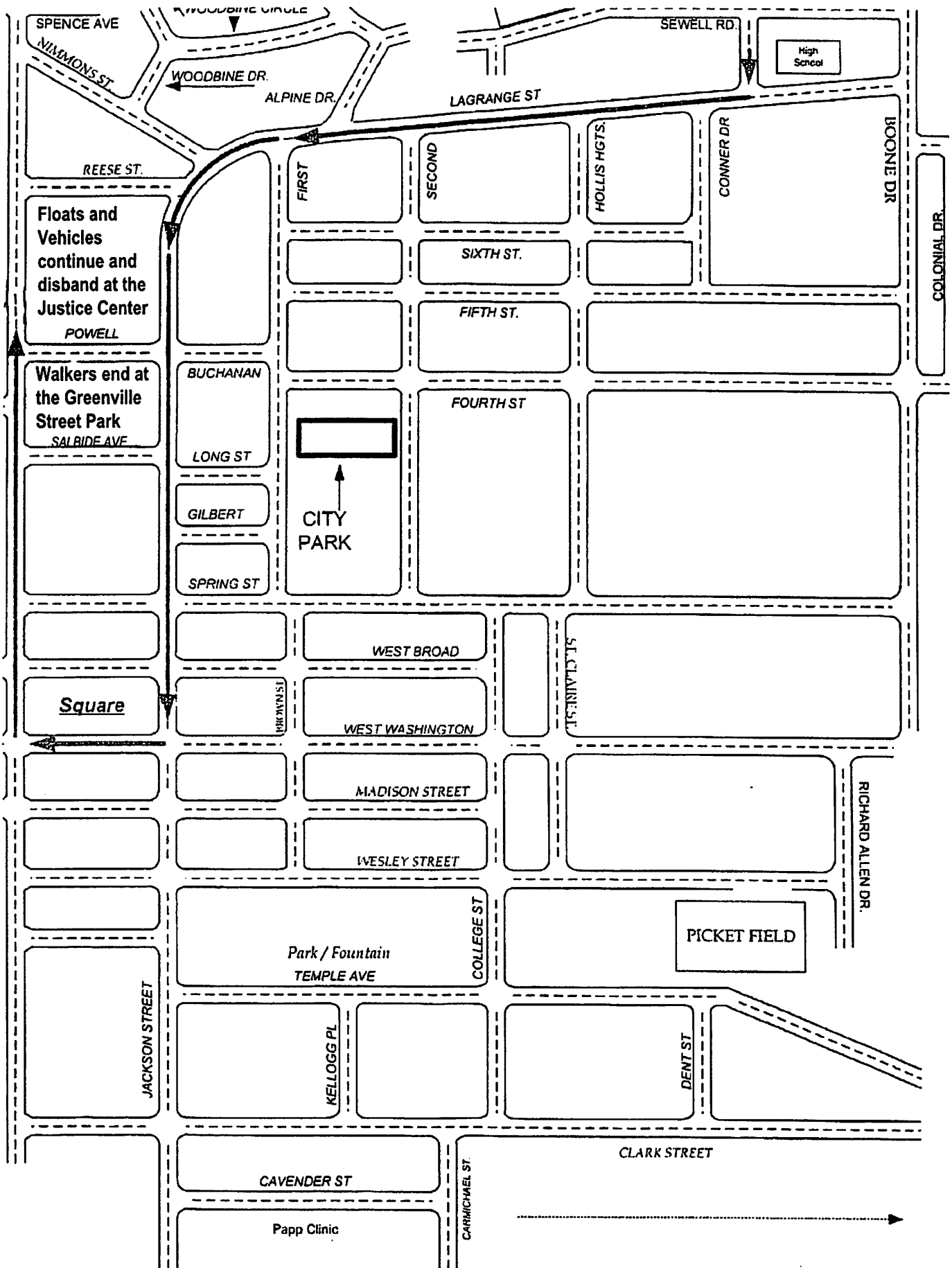
The Parade will leave Newnan High School from **Armory Road** and enter **Lagrange St.** It will proceed north **on Lagrange St.**, cross the railroad bridge and continue up **Jackson Street (against traffic)**. It will turn right on **North Court Square** and proceed east to **Greenville Street (against traffic)** where it will turn right and proceed three blocks to **Greenville Street Park**. At Greenville Street Park NHS cheerleaders, band, football players, and the homecoming court will be dropped off for the pep rally. All other parade participants will continue straight on **Greenville Street** and proceed to **Justice Center** where the parade will disband.

I request **Armory Road** to be closed from 4:30 P.M. to 7:00 P.M. as we will assemble the floats and depart from this area.

I would also request your assistance by blocking off the necessary streets for the parade. (The justice center is where the floats will disband).

The Pep Rally in the park will begin shortly after the end of the parade and last until around 8:00 pm.

Sincerely,
Randy Robbins
Athletic Director
Newnan High School



SPENCE AVE

NIMMONS ST

WOODBINE CIRCLE

WOODBINE DR.

ALPINE DR.

LAGRANGE ST

SEWELL RD.

High School

REESE ST.

FIRST

SECOND

HOLLIS HGTS.

CONNER DR

BOONE DR

COLONIAL DR.

Floats and Vehicles continue and disband at the Justice Center
POWELL

Walkers end at the Greenville Street Park
SALBIDE AVE

BUCHANAN

LONG ST

GILBERT

SPRING ST



CITY PARK

FOURTH ST

SIXTH ST.

FIFTH ST.

WEST BROAD

Square

STANFORD

WEST WASHINGTON

ST. CLAIR ST.

MADISON STREET

WESLEY STREET

RICHARD ALLEN DR.

Park / Fountain
TEMPLE AVE

PICKET FIELD

JACKSON STREET

COLLEGE ST

KELLOGG PL

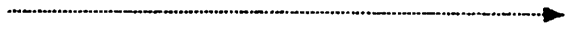
DENT ST

CAVENDER ST

Papp Clinic

CARMICHAEL ST.

CLARK STREET



Motion to Enter into Executive Session

I move that we now enter into closed session as allowed by O.C.G.A. §50-14-4 and pursuant to advice by the City Attorney, for the purpose of discussing

And that we, in open session, adopt a resolution authorizing and directing the Mayor or presiding officer to execute an affidavit in compliance with O.C.G.A. §50-14-4, and that this body ratify the actions of the Council taken in closed session and confirm that the subject matters of the closed session were within exceptions permitted by the open meetings law.

Motion to Adopt Resolution after Adjourning Back into Regular Session

I move that we adopt the resolution authorizing the Mayor to execute the affidavit stating that the subject matter of the closed portion of the council meeting was within the exceptions provided by O.C.G.A. §50-14-4(b).